

LEMOORE PLANNING COMMISSION
Regular Meeting
AGENDA
Lemoore Council Chamber
429 'C' Street

February 13, 2017
7:00 p.m.

1. Pledge of Allegiance
2. Meeting Called to Order and Roll Call
3. Installation of Commissioner Ray Etchegoin
4. Recognition of Calvin Monreal for his service as Planning Commissioner

5. Public Comments and Inquiries

If you wish to comment on an item, which is not on the agenda, you may do so under "Public Comment." In order to allow time for all public comments, each individual's comments are limited to five minutes. When addressing the Commission, you are requested to come forward to the speaker's microphone, state your name and address, and then proceed with your presentation.

6. Approval – Minutes – Regular Meeting, January 9, 2017
7. Approval – Request for Extension – A request by Tim Sciacqua for a one-year extension of Major Site Plan Review No. 2014-02 and Conditional Use Permit No. 2014-03, Cinnamon Villas II, a 28-unit senior affordable apartment complex located on the southeast corner of Cinnamon Drive and Follett Street in the City of Lemoore (APN 021-500-003.) – Steve Brandt, City Planner
8. Public Hearing – Major Site Plan Review No. 2017-02: a request by Wathen Castanos Lemoore 910, LLC to accept master home plans (floor plans and elevation plans) for Capistrano V (Tract 908.) The site is located on the east side of Barcelona Drive, approximately 200 feet south of Bush Street in the City of Lemoore (APN 023-040-057.) – Steve Brandt, City Planner

It has been determined that this Major Site Plan Review is a non-discretionary action and therefore, statutorily exempt from California Environmental Quality Act (CEQA) requirements. [Reference: State CEQA Guidelines Section 15268, Ministerial Exemption].

9. Public Hearing – Major Site Plan Review No. 2017-03: a request by Pacific Gas & Electric Company (Teter, LLP, architect) for site and exterior building design revisions to an approved site plan for a new Lemoore Service Center for Pacific Gas & Electric Company on 11.59 acres. The site is located at the southwest corner of Enterprise Drive and Commerce Way in the City of Lemoore (APN 024-051-027.) – Steve Brandt, City Planner

It has been determined that this Major Site Plan Review is a non-discretionary action and therefore, statutorily exempt from California Environmental Quality Act (CEQA) requirements. [Reference: State CEQA Guidelines Section 15268, Ministerial Exemption].

10. Director's Report – Judy Holwell, Development Services Director
11. Commission's Report and Request for Information

Minutes of the
LEMOORE PLANNING COMMISSION
January 9, 2017

MEETING CALLED TO ORDER:

At 7:01 p.m. the meeting was called to order.

ROLL CALL: Chair: Meade
 Vice-Chair: Marvin
 Commissioners: Badasci, Clement
 Absent: Dow, Koelewyn

City Staff and contract employees present: City Planner Brandt; Interim Development Services Director James; City Attorney Linden; Commission Secretary Baley

REORGANIZATION OF COMMISSIONERS

Item No. 2 ELECTION OF OFFICERS

Chair Meade opened nominations for Chair.

Commissioner Clement nominated Commissioner Meade. There were no other nominations.

Motion by Commissioner Clement and seconded by Commissioner Badasci to elect Commissioner Meade to Chair.

By unanimous vote, Commissioner Meade was elected Chair.

Chair Meade opened nominations for Vice-Chair.

Commissioner Clement nominated Commissioner Marvin. There were no other nominations.

Motion by Commissioner Clement, seconded by Commissioner Badasci, to elect Commissioner Marvin to Vice-Chair.

By unanimous vote, Commissioner Marvin was elected Vice-Chair.

PUBLIC COMMENTS AND INQUIRIES

Item No. 3

There were no comments or inquiries from the public.

APPROVAL OF MEETING MINUTES

Item No. 4 REGULAR MEETING OCTOBER 10, 2016

Vice-Chair Marvin asked that the Minutes reflect his absence October 10, 2016. Commission Secretary Baley indicated that her notes reflect he was present. Chairman Meade directed Baley to look into it further and report back at the next meeting.

Motion by Commissioner Badasci, seconded by Vice-Chair Marvin, to approve the Minutes of the Planning Commission Regular Meeting of October 10, 2016.

Ayes: Badasci, Marvin, Clement, Meade

Absent: Dow, Koelewyn

PUBLIC HEARINGS

Item No. 5 MAJOR SITE PLAN REVIEW NO. 2016-02 – A REQUEST BY DEVELOPER D.R. HORTON FOR APPROVAL OF NEW SINGLE FAMILY HOME MASTER PLANS (FLOOR PLANS AND ELEVATION PLANS) TO BE CONSTRUCTED IN CONJUNCTION WITH THE APPROVED PARKVIEW ESTATES SUBDIVISION TRACT 797 PHASES I AND II, LOCATED ON THE SOUTHWEST CORNER OF HANFORD-ARMONA ROAD AND OPAL AVENUE. APN'S 021-260-004, 021-260-006 THROUGH 021-260-022, AND 021-260-024 THROUGH 021-260-043

City Planner Brandt presented the request to approve master home plans and answered questions from Commissioners.

Chair Meade opened the public hearing at 7:15 p.m.

Steve Earl, Vice President of D.R. Horton, Central Valley Division provided information regarding the timeline for development of the subdivision.

There was no other comment from the public.

Chair Meade closed the public hearing at 7:17 p.m.

Motion by Vice-Chair Marvin, seconded by Commissioner Clement, to approve Resolution No. 2017-01, a Resolution of the Planning Commission approving Major Site Plan Review No. 2016-02.

Ayes: Marvin, Clement, Badasci, Meade

Absent: Dow, Koelewyn

Item No. 6 ZONING TEXT AMENDMENT NO. 2016-03 – AMENDMENTS TO PORTIONS OF THE LEMOORE MUNICIPAL CODE RELATED TO ZONING AND SUBDIVISIONS; ARTICLE A OF CHAPTER 4 OF TITLE 9 (LAND USE DEFINITIONS); ARTICLE B OF CHAPTER 4 OF TITLE 9 (ALLOWED USES AND REQUIRED ENTITLEMENTS); ARTICLE D OF CHAPTER 4 OF TITLE 9 (ASSESSORY DWELLING UNITS, MANUFACTURED HOMES, AND SHOPPING CARTS); ARTICLE E OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR OFF STREET PARKING); ARTICLE F OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR PERMANENT ON SITE SIGNS AND FLAGS); CHAPTER 10 OF TITLE 7 (PUBLIC FACILITIES MAINTENANCE DISTRICTS AND HOMEOWNER'S ASSOCIATIONS); AND ARTICLE C OF CHAPTER 5 OF TITLE 9 (DESIGN STANDARDS FOR BIG BOX STORES, DISCOUNT CLUBS, AND DISCOUNT SUPERSTORES)

City Planner Brandt stated that the text amendments were 100% staff initiated in an attempt to be proactive.

Chair Meade opened the public hearing at 7:19 p.m.

Brandt presented each text amendment individually and answered questions from Commissioners.

Jenny MacMurdo, Chief Executive Officer for the Lemoore Chamber of Commerce stated that prohibiting barbeques in DMX-1 and DMX-2 zones altogether is a disincentive for businesses.

There was no other comment from the public.

Chair Meade closed the public hearing at 8:09 p.m.

Motion by Commissioner Badasci, seconded by Vice-Chair Marvin, to approve Resolution No. 2017-02 with the following changes:

- 1. Add “Stores that have more than ten (10) shopping carts shall comply.” to Article D of Chapter 4 of Title 9.*
- 2. Change text amendment in Article B of Chapter 4 of Title 9 from “use of barbeque is not permitted” to “Administrative Use Permit required” for barbeques in DMX-1 and DMX-2 zones.*

Ayes: Badasci, Marvin, Clement, Meade

Absent: Dow, Koelewyn

DISCUSSION

Item No. 7 WELCOME TO LEMOORE SIGNS

City Planner Brandt, on behalf of the City Manager, asked Commissioners if they would like to take the lead on recommending a location for a “Welcome to Lemoore” sign and answered questions from Commissioners.

Jenny MacMurdo, Chief Executive Officer for the Lemoore Chamber of Commerce stated that she has met with staff regarding welcome signage over the last several years and offered her continued support.

Discussion ensued regarding location, commercial versus non-commercial and the possibility of a collaborative effort between the City of Lemoore, West Hills College and the Naval Air Station Lemoore.

Commissioners agreed to table the discussion until all Commissioners are present.

DEVELOPMENT SERVICES DIRECTORS’ REPORT

Item No. 8 INTERIM DIRECTOR DAVID JAMES

James introduced himself and stated that during his short time here, he has been assisting the City Manager with strategies regarding the General Plan Update, Development and Permit Fees, Retail Attraction, and a West Side Master Plan that is responsive to the Joint Land Use Study.

James provided his professional history and encouraged Commissioners to reach out to him.

COMMISSION'S REPORT AND REQUESTS FOR INFORMATION

Item No. 9

Chair Meade initiated a discussion regarding recognition ideas for outgoing Commissioners.

Commissioners agreed on a custom street sign with the Commissioners name and term dates, as long as it was financially feasible.

ANNOUNCEMENTS

Commission Secretary Baley announced that outgoing Commissioner Monreal would be recognized for his service during the February 13, 2017 meeting.

ADJOURNMENT

At 8:32 p.m. the meeting adjourned.

Approved the 13th day of February, 2017.

ATTEST:

APPROVED:

Kristie Baley, Secretary

Ronald Meade, Chair



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

To: Lemoore Planning Commission Item No. 7
From: Steve Brandt, City Planner
Date: January 31, 2017 **Meeting Date:** February 13, 2017
Subject: Request for Extension of Approval for Conditional Use Permit No. 2014-03 and Major Site Plan Review No. 2014-02 – Cinnamon Villas II

Proposed Motion:

Planning Commission - approve a one-year extension of Conditional Use Permit No. 2014-03 and Major Site Plan Review No. 2014-02.

Subject/Discussion:

On August 11, 2014, the Planning Commission approved Major Site Plan Review No. 2014-02 and Conditional Use Permit No. 2014-03 to allow the Cinnamon Villas II project, a 28-unit senior affordable apartment complex located on the southeast corner of Cinnamon Drive and Follett Street (APN 023-500-003.) The project is represented by Tim Sciacqua of Pacific West Communities, Inc.

Condition No. 18 of the conditional use permit (CUP) states that the approval shall expire and become void if it is not exercised within two years, which would have been August 11, 2016. This is a typical condition for conditional use permits. On May 9, 2016, the Planning Commission granted a one-year extension so that Mr. Sciacqua could continue to pursue State and Federal tax credits to complete their financing for the project. Unfortunately, the project did not receive funding. On January 24, 2017, Mr. Sciacqua requested an additional one-year extension. He stated that a project new financing package would be submitted to the appropriate agencies in June 2017, but that a response from these agencies is unlikely before CUP expiration in August 2017.

Affordable housing projects often need extra time to obtain their financial backing. Most State and Federal applications require that the CUP be obtained first, before a request for funding may be submitted. Given this situation, Staff believes a second one-year extension to be appropriate.

According to the Zoning Ordinance, the Commission is allowed to grant extensions of up to two years from the original approval date. Therefore, this would be the final extension that

could be granted. If the extension is approved, the new expiration date would be August 11, 2018.

Staff Recommendation:

Staff recommends that the Planning Commission approve a one-year extension of the approval of Conditional Use Permit No. 2014-03 and Major Site Plan Review No. 2014-02.

Attachments:

Planning Commission Resolution No. 2014-04
Site Plan

RESOLUTION NO. 2014-04

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING MAJOR SITE PLAN REVIEW NO. 2014-02 AND
CONDITIONAL USE PERMIT NO. 2014-03
TO ALLOW A 28-UNIT SENIOR AFFORDABLE APARTMENT COMPLEX
LOCATED ON THE SOUTHEAST CORNER OF CINNAMON DRIVE AND FOLLETT STREET**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on August 11, 2014, at 7:00 p.m. on said day, it was moved by Commission Member Clement, seconded by Commission Member Marvin and carried that the following Resolution be adopted:

WHEREAS, Pacific West Communities, Inc., represented by Tim Sciacqua, has requested a conditional use permit to allow a 28-unit Senior Affordable Apartment Complex located on the southeast corner of Cinnamon Drive and Follett Street; and

WHEREAS, the site is currently vacant; and

WHEREAS, the zoning on the parcel is RLMD (Low/Medium Density Residential); and

WHEREAS, the project is categorically exempt from California Environmental Quality Act (CEQA) requirements per the new small structures exemption in Section 15303 of the CEQA Guidelines.

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at their August 11, 2014, Meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

1. The proposed use is consistent with the General Plan, any applicable specific plans, and all applicable provisions of this title. The project is within the allowed density.
2. The establishment, maintenance, or operation of the use applied for will not, under the circumstances of the particular case (location, size, design, and operating characteristics), be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the neighborhood of such use or to the general welfare of the city. The use is compatible with the zone and existing uses in the vicinity.
3. The site of the proposed use is physically suitable for the type, density, and intensity of the use and related structures being proposed. Given the proposed plans, access to and from the site is suitable for the intensity of traffic. Follett Street and Cinnamon Drive are classified as collector streets under the City of Lemoore's General Plan, and will provide connection between the proposed site for higher density apartments, downtown, and other parts of the city.

4. The project will not be contrary to the specific intent clauses, development regulations or performance standards established for the zoning district in which it is located. The proposed use and related structures are compatible with other land uses, transportation, and service facilities in the vicinity. Due to the existing first phase of the Cinnamon Villas, residents of the second phase will have access to the adjacent phase, with aligned accesses to both housing complexes. Residents will be eligible for use of the amenities provided by the existing first phase of the existing Cinnamon Villas.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2014-02 and Conditional Use Permit No. 2014-03, subject to the following conditions:

1. The project shall be developed as per proposed Site Plan, Landscape Master Plan, Site Electrical Plan and Site Photometric (lighting) Plan. Any deviation from the approved plans shall require an amendment to the prior approvals or approval of a new permit as determined by the City.
2. An encroachment permit shall be obtained prior to commencement of work in a public right of way.
3. Delivery times shall be limited to between 7:00am and 7:00pm.
4. No on-street parking shall be allowed on Follett Street.
5. Trash enclosures shall be designed to accommodate refuse and recycling bins. The trash enclosure shall also include a roof structure and enclosed by a finished block wall.
6. The existing 8" wide brick stamping behind the curb shall remain consistent with Phase I stamping.
7. The project shall connect to existing sewer and water lines. Sewer and water services shall be installed per plans approved by the City Engineer.
8. Apartment unit identification shall be appropriately sized and located on buildings as directed by police and fire departments. Fire hydrant and fire department connection locations shall be located according to Fire Department recommendation.
9. Trees shall be planted in the parkway between the curb and sidewalk with a spacing of approximately 40' on center using trees from the City Street Tree list. Groundcover shall also be planted in the parkway.
10. The proposed grasses shall be drought tolerant grass.
11. Where the final grade difference between the project site and adjacent properties to the east is more than one foot, a block retaining wall shall be installed at least to the height of the grade of the higher property.
12. New 6' vinyl fencing, similar in style to the Phase I fencing shall be installed along the easterly project boundary. It may be installed on top of any required retaining wall.


"In God We Trust"

13. A separate sign application and administrative approval process will be required before ordering or installing any signage or lease up signage and flags so that it is in conformity with the city's sign ordinance.
14. The developer shall comply with the San Joaquin Valley Air Pollution Control District (SJVAPCD) standards, and the City of Lemoore dust control requirements. The project will be required to meet the 9510 Rule (Indirect Source Review) and submit a construction notification to the district for the project and that compliance with the Districts Regulation VIII (fugitive dust) Rules will be monitored.
15. Outdoor lighting shall utilize energy efficient fixtures and lamps, such as LED, high pressure sodium, metal halide, low pressure sodium, hard wired compact fluorescent, or other lighting technology that is of equal or greater efficiency. All new outdoor lighting fixtures shall be energy efficient with a rated average bulb life of not less than ten thousand (10,000) hours.
16. Architectural features may be illuminated by up lighting, provided that the lamps are low intensity to produce a subtle lighting effect and no glare or light trespass is produced. Wherever feasible, solar powered fixtures should be used.
17. Upon completion of any infrastructure improvements and their acceptance by the City, the developer's engineer shall prepare drawings of as built improvements and shall submit to the city one reproducible and three blue line copies for the city's records in addition to a digital copy for incorporation into the City's GIS System.
18. If not exercised within two years from the date of approval, this Conditional Use Permit shall expire and become void, except where an extension of time has been approved in compliance with the Zoning Ordinance.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on August 11, 2014, by the following votes:

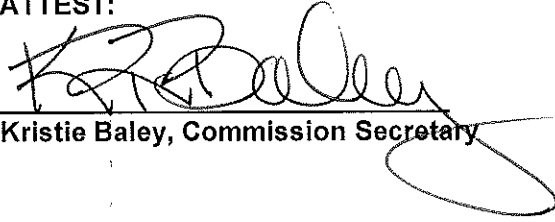
AYES: Clement, Marvin, Badasci, Dow, Monreal, Wynne, Garcia
NOES:
ABSTAINING:
ABSENT:

APPROVED:



Jeff Garcia, Chairperson

ATTEST:



Kristie Baley, Commission Secretary



- NOTES:**
- Place 2" depth 3/8" "Soroco dot" crushed rock over landscape fabric under storming and utility access areas. Install Permaco Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between crushed rock and adjacent shrub bed.
 - Place 2"-3" size cobbles in areas on balconies as well as low lying areas or drop inlets as required.
 - Install Permaco Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between lawn / no-mow grass areas and adjacent shrub beds. Stake at every preformed loop with 1/2" stakes supplied from manufacturer with product.
 - Place a 24" wide x 4" depth decomposed granite edge along the back of side walk areas indicated. Install Permaco Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between decomposed granite and adjacent shrub beds.
 - Install a 4" high decorative fence to screen the ground HVAC units as shown. Refer to detail sheet L6.

- SCREEN HVAC CONDENSER UNITS AND UTILITY SERVICE PANELS WITH PLANTS OR DECORATIVE SCREENS
- COVERED VAN ACCESSIBLE PARKING
- ADA ACCESSIBLE POND TABLE & BENCH (N)
- BIKE RACK TYP. OF (3) LOCATIONS
- ADA ACCESSIBLE TRASH ENCLOSURE TO MATCH PHASE I

- GENERAL NOTES:**
- The landscape plans will comply with the requirements of the water efficient landscape ordinance (WELDO). Elements of the Landscape Documentation Package:
 - The Landscape Documentation Package shall include the following six (6) elements:
 - project information:
 - scope
 - project address (if available, parcel and/or lot number(s))
 - total landscape area (square feet)
 - project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 - water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - checklist of all documents in Landscape Documentation Package
 - project contacts to include contact information for the project applicant and properly cover:
 - applicant signature and date with statement, all agree to comply with the requirements of the water efficient landscape ordinance and accept a complete Landscape Documentation Package
 - water efficient Landscape Worksheet:
 - hydrozone information table
 - water budget calculations
 - Minimum Applied Water Allowance (MAWA)
 2. Estimated Total Water Use (ETWU)
 - soil management report
 - landscape design plan
 - irrigation design plan and
 - grading design plan.
- Note: Authority Cited: Section 65945, Government Code. Reference: Section 65946, Government Code.
- *Contractor to verify all quantities from plan. Plant legend is for reference only.
- **NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND OWNER.

"I have complied with the criteria of the Water Efficient Landscape Ordinance (WELDO) and applied them for the efficient use of water in the landscape design plan"

PLANT LEGEND (proposed)

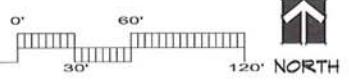
King	Botanical Name - Common Name ***	Size	Qty*	FE**	Symbol
TREES					
11	Cestera parvifolia - Australian Willow	#15	H		(Symbol)
12	Loganstracenta indica "Tiscaron" Std. - Standard Crope Myrtle	#15	L		(Symbol)
13	Frax concoloris - Canary Island Pine	#15	H		(Symbol)
14	Pistacia chinensis "Keith Davey" - Chinese Pistache	#15	H		(Symbol)
15	Platanus acerifolia "Fordwood" - London Plane Tree	#15	H		(Symbol)
16	Flyss callargans "Red Spiral" - Red Spiral Flowering Pear	#15	H		(Symbol)
17	Ulmus parvifolia "Dyostyl" - Chinese Evergreen Elm	#15	H		(Symbol)
18	Vibex agnus-castus - Ghost Tree	#15	L		(Symbol)
19	Zelkova serrata "Green Vase" - Japanese Sawtooth Zelkova	#15	H		(Symbol)
GRASSES					
G1	Calamagrostis x acutiflora "Karl Foerster"	#1	H		(Symbol)
G2	Pennisetum vivax "Blue Dawn" - Blue Fescue	#1	L		(Symbol)
G3	Festuca ovina "Little Bunny" - Dwarf Fountain Grass	#1	L		(Symbol)
G4	Muhlenbergia rigens - Deer Grass	#1	L		(Symbol)
PERENNIALS					
P1	Agapanthus africanus "Water Lily" - Dwarf Lily of the Nile	#1	H		(Symbol)
P2	Dianthus vegeta - Fairlight Lily	#1	H		(Symbol)
P3	Hemerocallis "Yellow Ducky" - Dwarf Yellow Day Lily	#1	H		(Symbol)
P4	Liriodendron "Silver Serpents" - Silver Serpents Lily Turf	#1	H		(Symbol)
P5	Lovandea angustifolia - English Lavender	#1	L		(Symbol)
P6	Thalictrum violaceum "Variegated" - Variegated Society Garlic	#1	L		(Symbol)
SHRUBS					
S1	Berberis thunbergii "Crimson Piny" - Dwarf Japanese Barberry	#5	L		(Symbol)
S2	Chamaecyparis thuyifolia - Mediterranean Fan Palm	#5	L		(Symbol)
S3	Ilex vomitoria "Nana" - Dwarf Yaupon Holly	#5	L		(Symbol)
S4	Teucrium fruticulosum - German Germander	#5	L		(Symbol)
S5	Leucopodium chinensis "Rozzie Dazle" - Chinese Fringe Flower	#5	L		(Symbol)
S6	Myrica communis "Compacta" - Compact Variegated Myrtle	#5	L		(Symbol)
S7	Bambusa domestica "Wall Street" - Gold Stream Heavenly Bamboo	#5	L		(Symbol)
S8	Carex europaea "Little Olive" - Dwarf Olive	#5	L		(Symbol)
S9	Pittosporum tobira "Variegated" - Variegated Pittosporum	#5	L		(Symbol)
S10	Pittosporum tobira "Wheeler's Dwarf" - Wheeler's Dwarf Pittosporum	#5	L		(Symbol)
S11	Phormium "Tom Thumb" - Tom Thumb New Zealand Flax	#5	L		(Symbol)
S12	Roughlyptis indica "Bulweri" - Dwarf Pink India Hawthorne	#5	L		(Symbol)
S13	Rosa x "Nana" - Red Flower Carpet Rose	#5	L		(Symbol)
S14	Salvia clevelandii "Patio Blue" - Hybrid California Sage	#5	L		(Symbol)
S15	Viburnum lina "Spring Bouquet" - Laurustinus	#5	L		(Symbol)
VINES					
V1	Ficus pumila - Creeping Fig staked	#1	H		(Symbol)
V2	Jasminum polyanthum - Pink Jasmine staked	#1	H		(Symbol)
V3	Parthenocissus tricuspidata "Vendell" - Little Leaf Boston Ivy staked	#1	H		(Symbol)
NO-MOW GRASS					
NATIVE NO-MOW 500					
DELTA BLUEGRASS COMPANY 1-800-631-8513					
SOD LAWN					
Botero Plus					
100% Botero Dwarf Fescue					
100% Kentucky Bluegrass					
DELTA BLUEGRASS COMPANY 1-800-631-8513					

Note: *Contractor to verify all quantities from plan. Plant legend is for reference only.
** FE: FE05 Species Evolution List-1998

GROUND COVERS

GC1	Arctostaphylos densiflora "P. Rays" - Manzanita Plant 1 gal. @ 50" o.c.
GC2	Baccharis pilularis "Twin Peaks" - Coyote Bush Plant 1 gal. @ 50" o.c.
GC3	Colomeria d. Lowland - Lowland Colomeria Plant 1 gal. @ 48" o.c.
GC4	Rosa multiflora "Prostrata" - Trailing Rosemary Plant 1 gal. @ 30" o.c.
GC5	Eriogonum fasciculatum "Sierra Salmon" - California Fuchsia Plant 1 gal. @ 50" o.c.
GC6	Trochopetalum asplenium - Aston Jasmine Plant 1 gal. @ 30" o.c.
GC7	Guzmania hybrid "Water Green" - Hybrid Clumping Guzmania Plant 1 gal. @ 10" o.c. (may be 4" pot @ 12" o.c.)
GC8	Annual color - seasonal availability Plant 4" pot @ 12" o.c.

LANDSCAPE MASTER PLAN



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
ASA

California Landscape Architect #1121
1413 N. Spokan Way
Dana, CA 95831
(916) 434-4397 (916) 434-9516
thp@thp.com

REVISIONS

NO.	DATE	DESCRIPTION
001	5/24/18	ISSUED FOR PERMITS

PACIFIC WEST ARCHITECTURE

1000 CALIFORNIA STREET, SUITE 100
DANA POINT, CA 92629
(949) 441-0000
WWW.PACIFICWESTARCH.COM



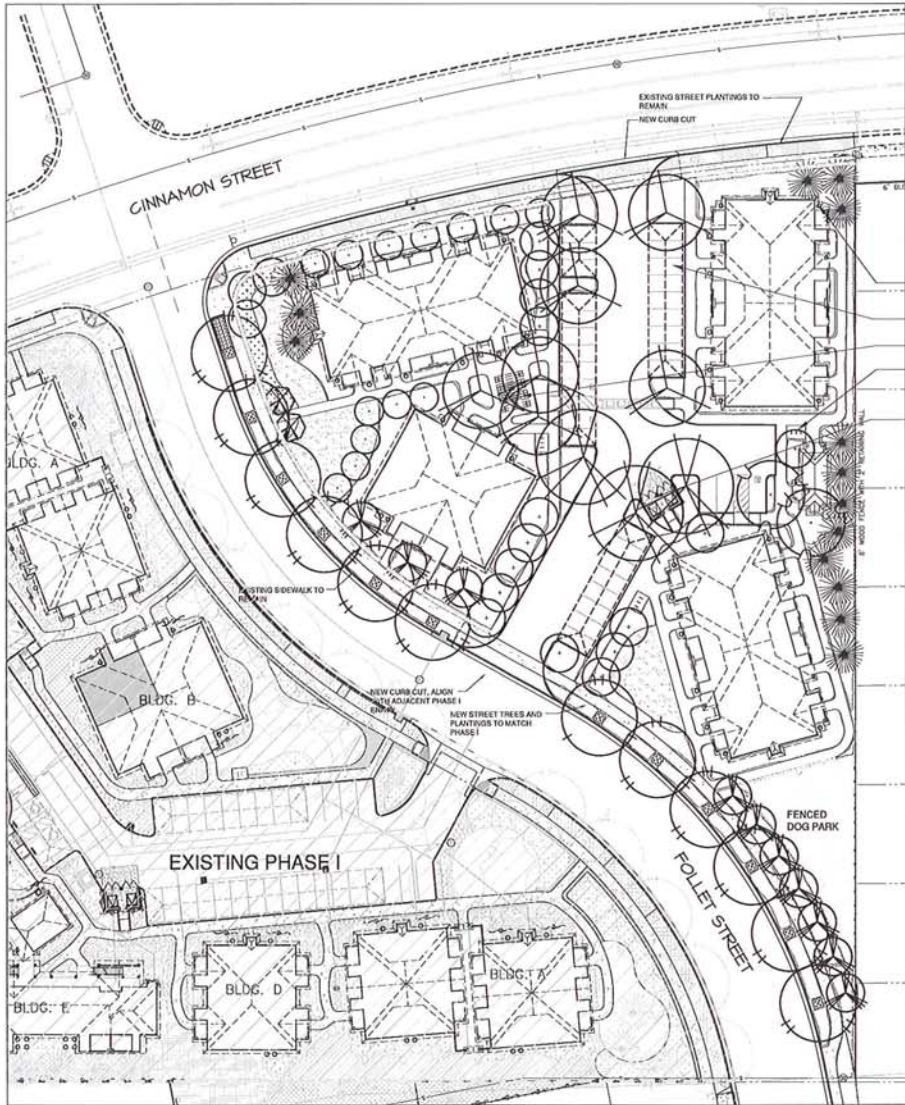
Pacific West Architecture
430 E. STATE STREET, SUITE 100
DANA POINT, CALIFORNIA 92629
(949) 441-0000
WWW.PACIFICWESTARCH.COM

ALABAMA - ARIZONA - CALIFORNIA - COLORADO - HAWAII - IDAHO - ILLINOIS - IOWA - KANSAS - KENTUCKY - LOUISIANA - MARYLAND - MASSACHUSETTS - MICHIGAN - MINNESOTA - MISSISSIPPI - MISSOURI - MONTANA - NEBRASKA - NEVADA - NEW JERSEY - NEW YORK - NORTH CAROLINA - NORTH DAKOTA - OHIO - OKLAHOMA - OREGON - SOUTH CAROLINA - TEXAS - UTAH - VIRGINIA - WASHINGTON - WISCONSIN - WYOMING

PROJECT
CINNAMON VILLAS PHASE II
1800 CINNAMON DRIVE S. STON DRIVE
LEONORE, CA



SCHEMATIC SET / NOT FOR CONSTRUCTION



NOTES

- A. Place 2" depth 1/2" diameter oval crushed rock over landscape fabric under stairs and utility access areas. Install Thermoc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between crushed rock and adjacent shrub bed.
- B. Place 2"-3" size cobble in swales as indicated as well as low lying areas or at drop inlets as required.
- C. Install Thermoc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between lawn / no-mow grass areas and adjacent shrub beds. Stake at every preformed loop with 12" stakes supplied from manufacturer with product.
- D. Place a 24" wide x 4" depth decomposed granite edge along the back of side walk or as indicated. Install Thermoc Clean Line 3/4" x 4" aluminum edging with mill finish (MF), between decomposed granite and adjacent shrub beds.
- E. Install a 4' high decorative fence to screen the ground HVAC units as shown. Refer to detail sheet L6.

- SCREEN HVAC CONDENSER UNITS AND UTILITY SERVICE PANELS WITH PLANTS OR DECORATIVE SCREENS
- COVERED VAN ACCESSIBLE PARKING
- ADA ACCESSIBLE PICK-UP/DROP OFF (MIN. 1)
- BIKE RACK TYP. OF (2) LOCATIONS
- ADA ACCESSIBLE TRASH ENCLOSURE TO MATCH PHASE I

GENERAL NOTES

- A. The landscape plans will comply with the requirements of the water efficient landscape ordinance (WELCO). Elements of the Landscape Documentation Package:
 - (a) The Landscape Documentation Package shall include the following six (6) elements:
 - (1) project information
 - (A) date
 - (B) project applicant
 - (C) project address (if available, parcel and/or lot number(s))
 - (D) total landscape area (square feet)
 - (E) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-initiated)
 - (F) water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well
 - (G) checklist of all documents in Landscape Documentation Package
 - (2) Water Efficient Landscape Worksheet
 - (A) hydrone information table
 - (B) water budget calculations
 - (C) water budget calculations
 - (D) hydrone information table
 - (E) water budget calculations
 - (F) hydrone information table
 - (3) soil management report;
 - (4) landscape design plan;
 - (5) irrigation design plan and
 - (6) grading design plan.
 - (b) project contacts to include contact information for the project applicant and property owner
 - (c) applicant signature and date with statement, or agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package

Note: Authority Cited: Section 6507B, Government Code. Reference: Section 6507A, Government Code.

*Contractor to verify all quantities from plan. Plant legend is for reference only.

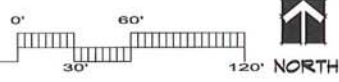
**NO SUBSTITUTIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE LAND ARCH.

"I have complied with the criteria of the Water Efficient Landscape Ordinance (WELCO) and applied them for the efficient use of water in the landscape design plan"

PLANT LEGEND (proposed)

Key	Botanical Name - Common Name ***	Size	Qty. #	Symbol
TREES				
T1	Cestera parvifolia - Australian Willow	#15	H	(Symbol)
T2	Lagerstroemia indica 'Incarona' 'Std.' - Standard Grape Myrtle	#15	L	(Symbol)
T3	Pinus canariensis - Canary Island Pine	#15	L	(Symbol)
T4	Pinus chinensis 'Keith Davy' - Chinese Pistache	#15	M	(Symbol)
T5	Platanus acerifolia 'formosa' - London Plane Tree	#15	M	(Symbol)
T6	Myrs catteriana 'Red Spiral' - Red Spike Flowering Pear	#15	H	(Symbol)
T7	Ulmus parvifolia 'Dyaboli' - Chinese Evergreen Elm	#15	H	(Symbol)
T8	Vibex agrus-castus - Ghost Tree	#15	H	(Symbol)
T9	Zelkova serrata 'Green Vase' - Japanese Sawleaf Zelkova	#15	H	(Symbol)
GRASSES				
G1	Chamaecrista x outifolia Karl Foerster*	#1	M	(Symbol)
G2	Festuca ovina 'Elijah Blue' - Blue Fescue	#1	L	(Symbol)
G3	Pennisetum a. Little Bunny* - Dwarf Fountain Grass	#1	L	(Symbol)
G4	Hemerocallis rigens - Deer Grass	#1	L	(Symbol)
PERENNIALS				
P1	Agapanthus africanus 'Peter Pan' - Dwarf Lily of the Nile	#1	M	(Symbol)
P2	Dietes vegeta - Portlight Lily	#1	M	(Symbol)
P3	Hemerocallis 'Stella D'Or' - Dwarf Yellow Day Lily	#1	M	(Symbol)
P4	Liriodendron 'Silver Snoproof' - Silver Snoproof Lily Turf	#1	M	(Symbol)
P5	Lavandula angustifolia - English Lavender	#1	M	(Symbol)
P6	Tibullugia violacea 'Variegata' - Variegated Society Garlic	#1	M	(Symbol)
SHRUBS				
S1	Berberis thunbergii 'Crimson Pigeon' - Dwarf Japanese Barberry	#5	L	(Symbol)
S2	Chamaecyparis hawaii - Mediterranean Fan Palm	#5	M	(Symbol)
S3	Ilex vomitoria 'Nana' - Dwarf Yaupon Holly	#5	M	(Symbol)
S4	Teucrium fruticulosum - Germanender	#5	M	(Symbol)
S5	Lerospetium chinensis 'Rozzie Dazzle' - Chinese Fringe Flower	#5	M	(Symbol)
S6	Myrtus communis 'Compacta Variegata' - Compact Variegated Myrtle	#5	M	(Symbol)
S7	Nandina domestica 'Soft Stream' - Soft Stream Heavenly Bamboo	#5	M	(Symbol)
S8	Olea europaea 'Little Olive' - Dwarf Olive	#5	M	(Symbol)
S9	Pittosporum tobira 'Variegata' - Variegated Pittosporum	#5	M	(Symbol)
S10	Pittosporum tobira 'Wheeler's Dwarf' - Wheeler's Dwarf Pittosporum	#5	M	(Symbol)
S11	Phormium 'Tom Thumb' - Tom Thumb New Zealand Flax	#5	M	(Symbol)
S12	Stachytarpheta indica 'Battersea' - Dwarf Pink India Hawthorne	#5	M	(Symbol)
S13	Rosa x 'Noone' - Red Flower Carpet Rose	#2	L	(Symbol)
S14	Salvia clevelandii 'Pasta Blue' - Hybrid California Sage	#5	M	(Symbol)
S15	Viburnum 'Spring Bouquet' - Loravivus	#5	M	(Symbol)
VINES				
V1	Ficus pumila - Creeping Fig staked	#1	M	(Symbol)
V2	Jasminum poligabum - Pink Jasmine, staked	#5	M	(Symbol)
V3	Parthenocissus tricuspidata 'Veitchii' - Little Leaf Boston Ivy, staked	#1	M	(Symbol)
NO-MOW GRASS (Symbol) H				
NATIVE NO-MOW SOD				
DELTA BLUEGRASS COMPANY 1-800-631-0073				
SOD LAWN (Symbol) H				
Botera Plus				
100% Botera Dwarf Fescue				
100% Kentucky Bluegrass				
DELTA BLUEGRASS COMPANY 1-800-631-0073				
Note: *Contractor to verify all quantities from plan. Plant legend is for reference only.				
Note: ** PP, REGOLS Species Evolution List-1991				
GRAND COVERS				
GC1	Arctostaphylos densiflora 'P. Raven' - Manzanita Plant 1 gal. @ 36" oc.	#1		(Symbol)
GC2	Baccharis pinnatifida 'Twin Peaks' - Coyote Bush Plant 1 gal. @ 36" oc.	#1		(Symbol)
GC3	Coloanthes c. Lowland - Lowland Coloanthes Plant 1 gal. @ 48" oc.	#1		(Symbol)
GC4	Rosa rugosa 'Pratincole' - Trailing Rosemary Plant 1 gal. @ 36" oc.	#1		(Symbol)
GC5	Eriogonum fasciculatum 'Sierra Salmon' (mix) - California Puschia Plant 1 gal. @ 36" oc.	#1		(Symbol)
GC6	Trachelospermum asiaticum - Aston Jasmine Plant 1 gal. @ 36" oc.	#1		(Symbol)
GC7	Gazania hybrid 'Autumn Queen' - Hybrid Clumping Gazania Plant 1 gal. @ 18" oc. (reg. sub 4" pot @ 12" oc.)	#1		(Symbol)
GC8	Annual color - seasonal availability Plant 4" pot @ 12" oc.	#1		(Symbol)

LANDSCAPE MASTER PLAN



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
ASA

California Landscape Architect #1122
1418 Ridgebrook Way
Oro, CA 95963
(916)818-8888 (916)818-9339
thp@thp.com

REVISIONS

NO.	DATE	DESCRIPTION
5/014		
THP		
PH014-10		



Pacific West Architecture

4515 STATE STREET, SUITE 100
OAKLAND, CALIFORNIA 94612
TEL: (916) 818-8888
FAX: (916) 818-9339

ALASKA - ARIZONA - CALIFORNIA - COLORADO - HAWAII - IDAHO - ILLINOIS - IOWA - KANSAS - KENTUCKY - LOUISIANA - MAINE - MARYLAND - MASSACHUSETTS - MICHIGAN - MINNESOTA - MISSISSIPPI - MISSOURI - MONTANA - NEBRASKA - NEVADA - NEW HAMPSHIRE - NEW JERSEY - NEW YORK - NORTH CAROLINA - NORTH DAKOTA - OHIO - OKLAHOMA - OREGON - SOUTH CAROLINA - UTAH - VERMONT - VIRGINIA - WASHINGTON - WISCONSIN - WYOMING

LEWISBURG, CA

CINNAMON VILLAS PHASE II

PROJECT

850 CINNAMON DRIVE & ETON DRIVE
LEWISBURG, CA



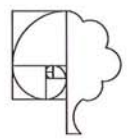
SCHEMATIC SET / NOT FOR CONSTRUCTION



① LANDSCAPE MASTER PLAN

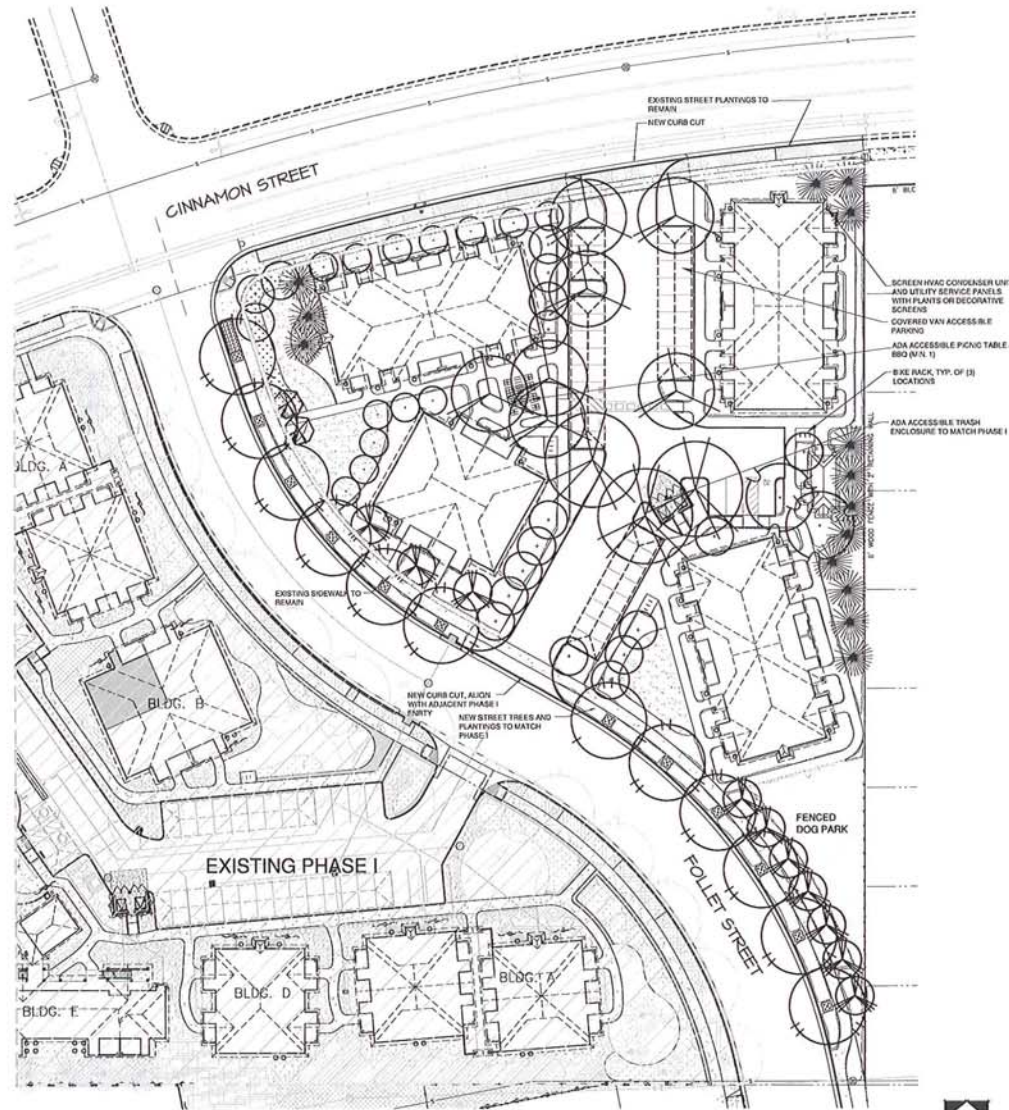


CINNAMON VILLAS PHASE II



THOMAS H. PHELPS
 LANDSCAPE ARCHITECTURE
 ASIA

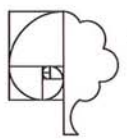
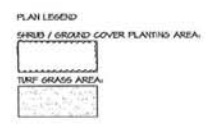
California Landscape Architect #4122
 1428 Ridgebrook Way
 Okaville, GA 30288
 (530) 892-8897 (530) 892-4585fax
 thphelps@thpdesign.com



① LANDSCAPE MASTER PLAN

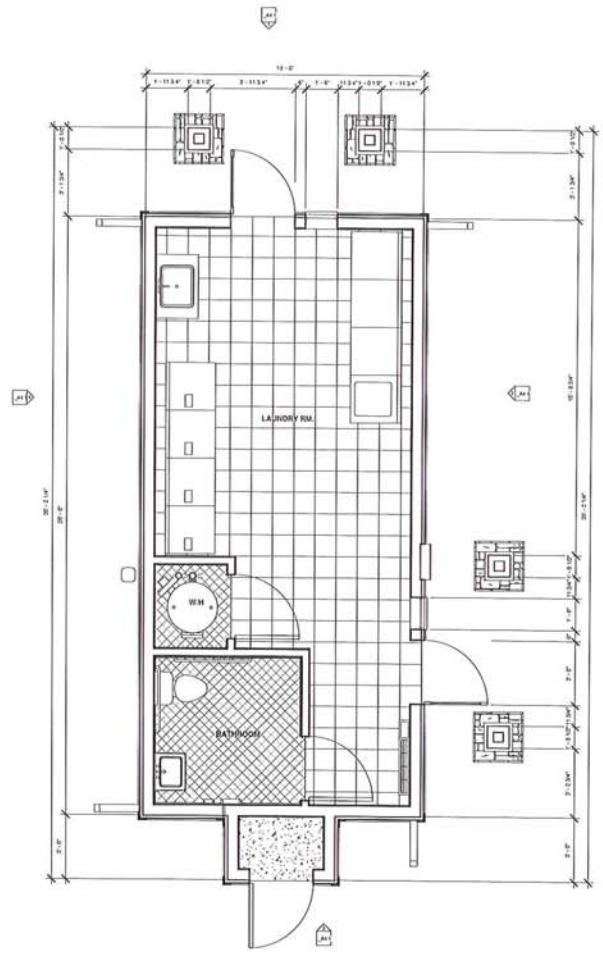


CINNAMON VILLAS PHASE II



THOMAS H. PHELPS
 LANDSCAPE ARCHITECTURE
 AIA

California Landscape Architect #9122
 1428 Ridgebrook Way
 Chico, CA 95928
 (530)892-8897 (530)892-9588fax
 tph@thp.com



1 LAUNDRY ROOM - FLOOR PLAN
3/8" = 1'-0"

REV:0015

050514
DEAW:DG
PWN14-16



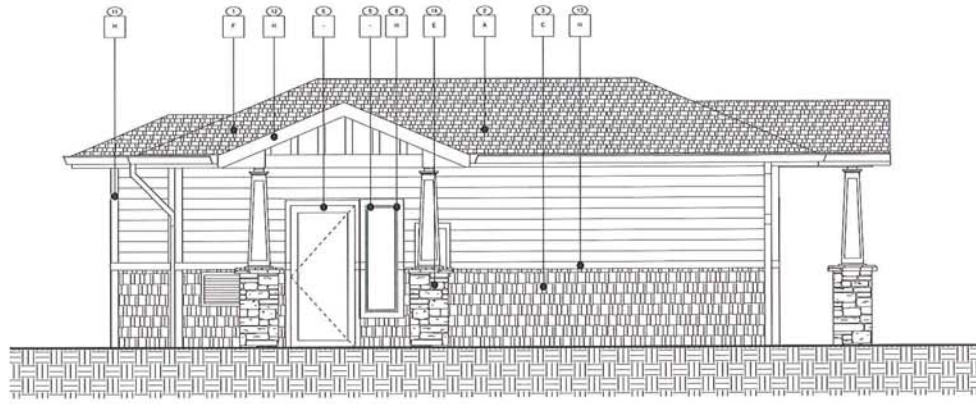
Pacific West Architecture
105 S. STATE STREET, SUITE 100
SAGE, DAVID RENTS
SAN JOSE, CA 95128
408.262.4027

Pacific West Architecture
105 S. STATE STREET, SUITE 100
SAGE, DAVID RENTS
SAN JOSE, CA 95128
408.262.4027

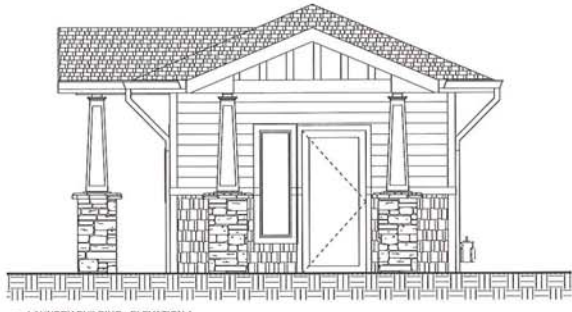
PROJECT:
CINNAMON VILLAS PHASE II
510 CINNAMON DRIVE & ETON DRIVE
LIMORIE, CA

A3.1

BUILDING PERMIT SUBMITTAL SET



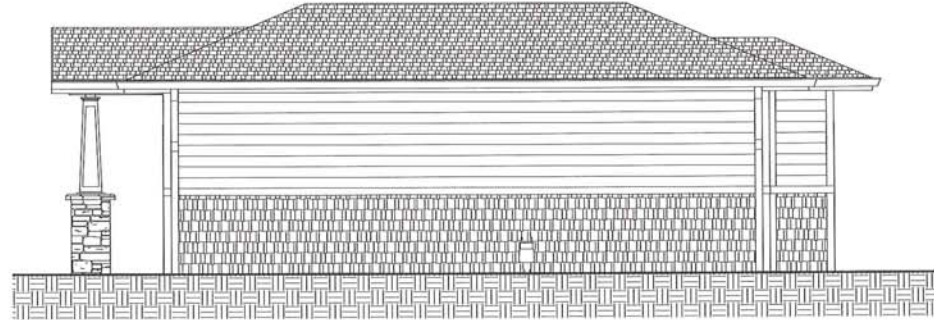
2 LAUNDRY BUILDING - ELEVATION 2
3/8" = 1'-0"



1 LAUNDRY BUILDING - ELEVATION 1
3/8" = 1'-0"



3 LAUNDRY BUILDING - ELEVATION 3
3/8" = 1'-0"



4 LAUNDRY BUILDING - ELEVATION 4
3/8" = 1'-0"

GENERAL NOTES

- A. SEE BUILDING DEPT. AND STRUCTURAL SERIES FOR PLATE HEIGHTS.
- B. ELEVATION IS TO BE REFERENCED TO SEE ELEVATION ANGLES FOR ACTUAL DOOR/SCREENINGS.
- C. SEE ROOF PLANS FOR VENTILATION REQUIREMENTS, SIZES AND DISTRIBUTION.
- D. SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS DETAILS.
- E. SEE ELEC., PLUMBING, ELECTRICAL AND JOINT TRIM DRAWINGS FOR LOCATIONS OF ELECTRICAL AND PLUMBING UTILITY AND WATER MAINS.
- F. SEE SPECIFICATIONS FOR APPROVED MATERIALS, FINISHES, AND DISTRIBUTIONS. ALLOWED TO OBTAIN APPROVAL BY ARCHITECT OR ENGINEER OF RECORD.
- G. SEE GENERAL CONTRACTING REQUIREMENTS FOR LOCATIONS OF ALL WINDOW VENTS, VENTILATION METALS, AND EXHAUST FANS WITH DRAINAGE OR EXHAUST TRAYS. VERIFY SPECIFICATIONS FOR ALL EXHAUST FAN MOTOR SPECIFICATIONS.
- H. ALL GALVANIZED PUNCTURES AT HALF WALLS AND COUNTERS/SLABS/STAIRS AT PAGES SHALL BE PAINTED TO MATCH ADJACENT COLOR NOTES.
- I. ALL EXPOSED ROOF STRUCTURAL MEMBERS SHALL BE PAINTED BUT NOT LIMITED TO VENT STACKS FOR SEWER, VENTS AND EXHAUST GAS/STOVE GAS SHALL BE PAINTED ON THE FRONT TO MATCH ADJACENT TRIM/FLUSH COLOR OF COMPOSITION SINGLES.
- J. REFER TO THE TRIM/SCREENING CATALOGS TO BE USED FOR ALL UTILITY FAN/EXHAUST SPECIFICATIONS FOR SIZE, OPERATION AND INSTALLATION. PROVIDE THE SPECIFICATIONS TO MATCH EXHAUST FAN/EXHAUST EQUIPMENT. LOCATION OF ACCESS PATHS AND PADS IN FINISH AND LANDSCAPE DRAWINGS SHALL BE USED.

KEY NOTES

1. SITTER TRIM & CORNICE SINGLE TRIM
2. FRODOY HORIZONTAL VINYL SINGLES GRAPPELLED EQUAL
3. AL. SEE FRODOY SINGLES BRASS STYLE VINYL SINGLES GRAPPELLED EQUAL
4. EXHAUST BRUCO SYSTEM. FEATURE HEAVY DASH
5. WHITE VINYL WINDOWS. SEE FLOOR PLANS, WINDOW SCHEDULE AND SPECIFICATIONS
6. EXTERIOR DOOR. SEE FLOOR PLANS, DOOR SCHEDULE AND SPECIFICATIONS. FINISH AS NOTED
7. DOOR/WINDOW TRIM. PAINT AS NOTED
8. FINE FINISHED METAL GUTTER. SEE ROOF PLAN FOR EXACT COLOR & FINISH. BOTTOM-UP TRIM AS NOTED
9. PAINTED BRUCO BRASS COLOR SHOWN
10. 2" HORIZONTAL TRIM & FASCIA. METAL WRAP. ALSO TRIM AS SHOWN
11. 4" VERTICAL TRIM. TRIM
12. METAL WRAP AT 1/4" FASCIA. SEE DETAILS
13. ARCHITECTURAL BRASS END VENT. PAINT AS NOTED. SEE ROOF PLAN
14. GUTTER/DOOR. SEE WINDOW SCHEDULE WITH FINISHES AND TRIM AS NOTED. SEE SPECIFICATIONS
15. PAINTED METAL WINDOW.
16. IF EXPOSED METAL GUTTER FLASHING IS BETWEEN ROOF AND ADJACENT BRUCO. PAINT TO MATCH ADJACENT BRUCO
17. WINDOW EXHAUST FAN AT EXTERIOR IS OVER ENCLOSURE
18. METAL BRUCO BRASS COLOR SHOWN
19. GAS METAL WINDOW SCREENS MUST BE A MINIMUM OF 3" FROM GAS METERS. SEE MEP PLANS FOR INFORMATION
20. CONDENSER UNIT. SEE MEP PLANS FOR INFORMATION
21. ELECTRICAL PANEL. SEE MEP PLANS FOR INFORMATION. PAINT TO MATCH ADJACENT BRUCO COLOR

MATERIAL FINISHES TYPE 2:
BLOG, TYPES B, D, & COMMUNITY BLDG.

- A. FRODOY VINTAGE WOODS OR EQUAL
- B. HEAVY DASH. COLOR TO MATCH COLOR OTHER "GREAT WALL"
- C. AL. SEE BRASS AND TRIM OR EQUAL
- D. COLOR TO MATCH AL. SEE WOODS CREAM
- E. BRASS COLOR TO MATCH COLOR OTHER "GREAT WALL"
- F. GUTTER/FLASHING TO MATCH AL. SEE "SLACKER WHITE"
- G. VENT, GUTTER, AND EXHAUST TO MATCH AL. SEE "SLACKER WHITE"
- H. METAL FASCIA WRAP TO MATCH AL. SEE "WOODS CREAM"

NOTES

- DO NOT SHOW BRUCO COLOR TO MATCH AL. SEE "WOODS CREAM"
- ALL TRIM TO MATCH THE ADJACENT GENERAL TRIM EQUIPMENT TRIM. PAINT TO MATCH THE ADJACENT WALL SURFACE.

REVISIONS

DATE	DESCRIPTION
05/06/14	REVISED
05/06/14	REVISED
05/06/14	REVISED

PROJECT: 050614
 DESIGNER: PWWH-18
 ARCHITECT: PACIFIC WEST ARCHITECTURE
 1100 SOUTH STATE STREET, SUITE 100, LOS ANGELES, CA 90059
 210.481.1111
 WWW.PACIFICWESTARCHITECTURE.COM

Pacific West Architecture
 1100 SOUTH STATE STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90059
 210.481.1111
 WWW.PACIFICWESTARCHITECTURE.COM

PROJECT: CINNAMON VILLAS PHASE II
 1100 SOUTH STATE STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90059
 210.481.1111
 WWW.PACIFICWESTARCHITECTURE.COM



1 LAUNDRY ROOM - ELEVATION 1
N.T.S.



4 LAUNDRY ROOM - ELEVATION 4
N.T.S.



3 LAUNDRY ROOM - ELEVATION 3
N.T.S.



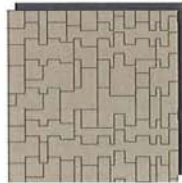
2 LAUNDRY ROOM - ELEVATION 2
N.T.S.



A STUCCO SIDING
COLOR TO MATCH EQUATEX "CREAT A LIL"



B HORIZONTAL SIDING
COLOR TO MATCH FRODO'S VINTAGE WOODER
SHELVES



C SHAKE SIDING
COLOR TO MATCH ALS DE SHAKE #108



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH ALS DE "MOOSE CHEEK"



E HORIZONTAL SIDING
COLOR TO MATCH PRODOT "EDDING, SGRY OR
EQUIL"



F BRICK VENEER
COLOR TO MATCH COLOR TO WATERWORKS
CONCRETE BRICK "SPANDON" OR EQUIV.



G ASPHALT SHINGLES
COLOR TO MATCH COLOR TO WATERWORKS
"WEATHERED WOOD OR EQUIV."

REVISIONS

DATE: 05/06/14
DRAWN: DE/JAW/DO
PROJECT: P201114-10

PACIFIC WEST ARCHITECTURE
PACIFIC WEST ARCHITECTURE
10000 UNIVERSITY AVENUE, SUITE 100
SAN DIEGO, CALIFORNIA 92121
TEL: 619 451-1287
WWW.PACIFICWESTARCHITECTURE.COM
COMMERCIAL ARCHITECTURE

Pacific West Architecture

430 E. STATE STREET, SUITE 100
SAN DIEGO, CALIFORNIA 92101
TEL: 619 451-1287

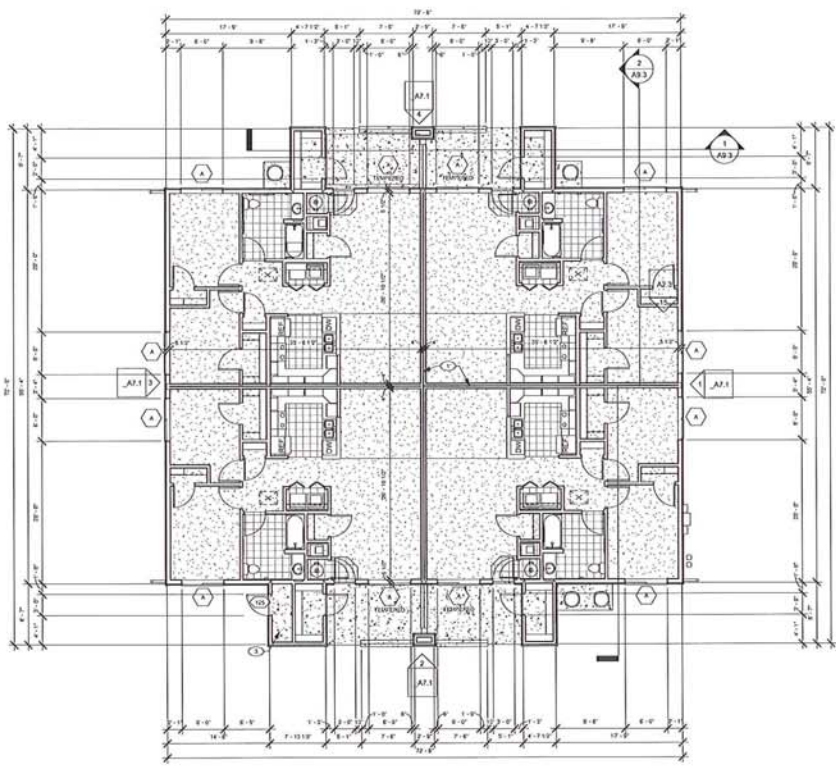
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PROJECT
CINNAMON VILLAS PHASE II

850 CINNAMON DRIVE & 10TH DRIVE
LANDOVE, CA

A5.1

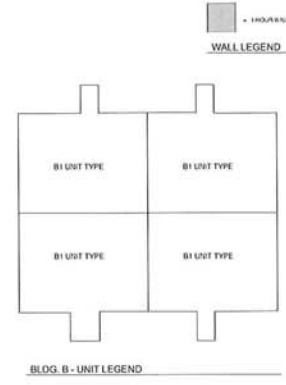
BUILDING PERMIT SUBMITTAL SET



1 BLDG. B - 1ST FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES**
- A. REFER TO SHEETS A1 - A28 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES.
 - B. REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION.
 - C. PROVIDE WALL WALL BATT INSULATION LOCATING BEDROOMS FROM ALL ADJACENT SPACES. PROVIDE ALSO BATT INSULATION WALLS.
 - D. EXISTING TOP PER 2013 CGC SECTION 1114 - SEE STRUCTURAL DETAIL, S.W. CONDITION FOR BATT INSULATION. MIN. MATERIAL THICKNESS PER 2013 CGC 1114 - RE ROOF PLANS.
 - E. PROVIDE FIRE BLOCKING AT ROOMS AND SPACES. STUDS SHALL BE CEILING AND FLOOR LEVELS, AND AT 12" INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - F. PROVIDE BLOCKS FOR FUTURE GARAGES IN ALL BEDROOMS AT ALL GROUND FLOOR UNITS AS PER FLOOR FINISHING SCHEDULES.
 - G. REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR FINISHES, PATIO STRUCTURES, AND UTILITIES.
 - H. SEE DETAIL SHEET FOR MORE INFORMATION AND BUILDING DETAILS.
 - I. ALL ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.
 - J. VERIFY DIMENSIONS OF ALL FUTURES AND EQUIPMENT PROVIDED BY OWNER OR SPECIALTIES AGENTS.
 - K. SEE ELECTRICAL SERIES FOR LOCATION OF ALL ELECTRICAL PANELS.
 - L. PROVIDE BLOCKING AT ALL HARD PAVES, GRABBARS, AND RELATED ASSEMBLIES AS REQUIRED.
 - M. ALL AIRWAY RECESSED/VEHICLE BOUNDARIES TO BE TYPED AND RESEAL FIVE AS PER 2013 CGC SECTION 1101 AND 1102 SPECIFICATIONS.
 - N. SEE SPECIFICATION SECTIONS 11.30 FOR CONTRACTOR PROVIDED PRESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBING ELECTRICAL DRAINING SERIES PRESENCE OF GAS AND POWER FOR APPLIANCES.
 - O. GENERAL CONTRACTOR TO INSTALL PER 8" X 10" X 1/2" G-1/2" G-1/2" PER LOCAL FIRE DEPARTMENT REGULATIONS. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL FIRE DEPARTMENT FOR REGULATIONS. CALLS TO BE RECEIVED AND ESTABLISHED AT HEIGHTS LOCAL FIRE DEPARTMENT.
 - P. G.C. TO INSTALL PORTABLE FIRE EXTINGUISHERS PER 2013 CGC SECTION 1114.
 - Q. ADDRESS AND BUILDING NUMBER OR APPROVED BUILDING IDENTIFICATION SHALL BE PLACED ON THE FRONT THAT BEARS THE MAIN ENTRANCE AND VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. 2013 CGC SECTION 1111.4. B.C. TO DETERMINE LOCATION AND NUMBER OF WALLS LOCAL JURISDICTION. AUTHORITY. MOUNTING HEIGHT AND ORIENTATION SHALL BE CO-ORDINATED WITH LOCAL AGENCY SPECIAL AGENTS.
 - R. AT ALL BOUNDARIES, CEILING EXPOSED EDGES AND JOINTS. SHOWER PROOF TO RAIN FOR INTERIOR FLOOR CONSTRUCTION. INSTALL TOP SET BASE AT 1/2" OVER FINISHING PER SPECIFICATIONS.
 - S. AT ALL 2" X 4" SEALING TYPE BOND PATCH FOR FINISH APPEARANCE AT ALL FINISHING PENETRATIONS THROUGH CEILING.
 - T. AT ALL PLATES INSTALL BATTLETOP WATERSTOP 1" X 3/4" SILE PLATE SEALANT.
 - U. SEAL ALL PENETRATIONS IN BUILDING ENVELOPE PER CALIFORNIA TITLE 24 REQUIREMENTS.
 - V. SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ACCESS PANELS. COORDINATE LOCATIONS W/ ROOF FINISHES. WHERE AT ACCESS IS TO BE INSTALLED AT 1 HOUR RATED AND FINISH RATED ASSEMBLY.
 - W. SEE LIFT PLANS FOR DROPPED CEILING LOCATIONS.
 - X. THRESHOLD AT DOORWAYS SHALL NOT EXCEED 3/4" HEIGHT FOR BUILDING CODES. SEE BUILDING UNITS OR 1" FOR OTHER DOORS PER 2013 CGC 1101.1.
 - Y. ANIMAL SPACES AND PETS. ELECTRIC CABLES, CONDUITS OR OTHER DEVICES IN PLATES OR EXTENSION SHALL BE PROTECTED WITH THE PASSAGE OF RODENTS BY FILLING SUCH OPENINGS WITH CONCRETE MORTAR CONCRETE WITHIN ONE PLANE AND ACCEPTABLE TO THE EMPLOYING AGENCY.

- KEY NOTES**
1. 1 HOUR LANT EXTERIOR WALL PER 2013 CGC 11. SEE DETAIL 1A113.
 2. SCHEDULED AREAS TO BE A MIN HEIGHT OF 7'-6" AT 1/2" MIN HEIGHT RE FINISHED SURFACE. SEE DETAIL 1A111.
 3. FIRE RESISTANCE RATED.
 4. FIRE MANUFACTURED METAL STAIRS W/ CONCRETE TREADS.
 5. EXTEND 2" UP BEHIND BLOWER TUBE AT 1 HOUR WALL TO MOUNTAIN HOUSING UNITS.
 6. 1 HOUR WALL. SEE DETAIL 1A112.
 7. SEVERAL. SEE EXPANDED SUBMITTALS ON T1.1 AND DETAIL 1A113.
 8. 1 HOUR CONFORMAL. SEE DETAIL 1A113.



REVISIONS

DATE	DESCRIPTION
05/06/14	
DE:JW:DG	
PROJECT	PW114-16

PACIFIC WEST ARCHITECTURE

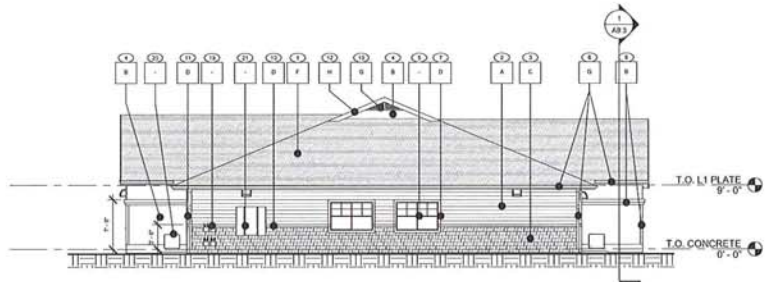
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Pacific West Architecture
 845 E. STATE STREET, SUITE 100
 DENVER, COLORADO 80202
 TEL: 303.733.8888
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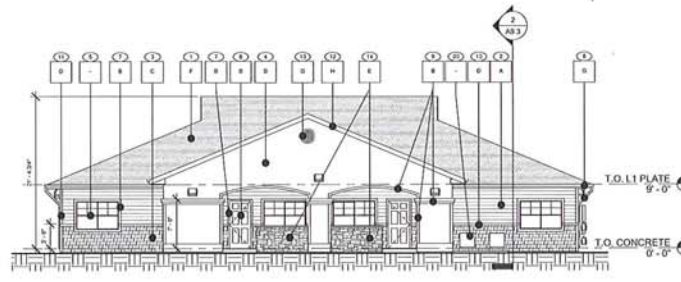
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PROJECT
CINNAMON VILLAS PHASE II
 850 CINNAMON DRIVE, ETON DRIVE
 LINDSEY, CA

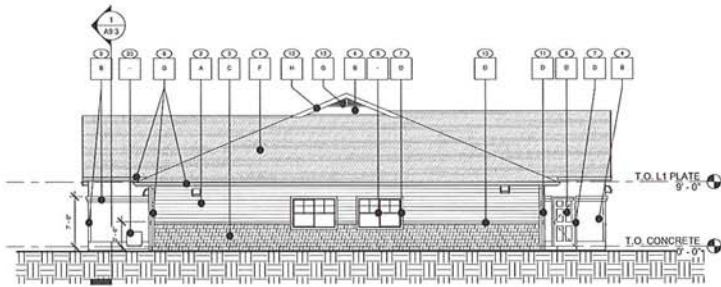
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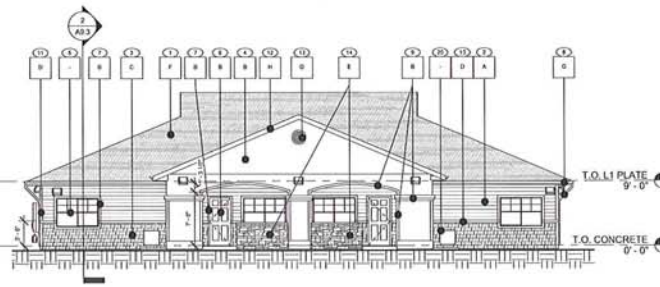
1) BLDG. B - RIGHT ELEVATION
1/8" = 1'-0"



2) BLDG. B - REAR ELEVATION
1/8" = 1'-0"



3) BLDG. B - LEFT ELEVATION
1/8" = 1'-0"



4) BLDG. B - FRONT ELEVATION
1/8" = 1'-0"

- GENERAL NOTES**
- A. SEE BUILDING SECTIONS AND STRUCTURAL DETAILS FOR FLOOR HEIGHTS
 - B. ELEVATION (2-D) IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS.
 - C. SEE ROOF PLANS FOR VENTILATION REQUIREMENTS, SLOPES AND OVERLAP DETAILS.
 - D. SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLAN DETAILS.
 - E. SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT TRENCH DRAWINGS FOR LOCATIONS OF EXISTING UTILITIES AND VENT STACKS.
 - F. SEE SPECIFICATIONS FOR APPLIANCE MANUFACTURERS. NO SUBSTITUTIONS PERMITTED. SEE PROJECT MANUAL AT LOCATED FOR NUMBER OF RECORD.
 - G. GENERAL CONTRACTOR TO OBTAIN THE LOCATION OF ALL EXISTING UTILITIES, CITY NATIONAL AND EXISTING UTILITIES AND PROVIDE DELETED THIRD PARTY RECORDS TO GENERAL CONTRACTOR FOR REVIEW.
 - H. ALL EXPOSED ROOF TOP MATERIALS SHALL BE PROTECTED WITH FLASHING AND TRIM AT PARAPETS. PARAPETS SHALL BE FINISHED TO MATCH ADJACENT COLOR FINISHES.
 - I. ALL EXPOSED ROOF TOP MATERIALS SHALL BE PROTECTED WITH FLASHING AND TRIM AT PARAPETS. PARAPETS SHALL BE FINISHED TO MATCH ADJACENT FINISHES AND CONCRETE FINISHES.
 - J. EXTERIOR LIGHT FIXTURES SHALL BE PER LOCAL UTILITY PROVIDER'S SPECIFICATIONS FOR SIZE, ORIENTATION AND INSTALLATION REQUIREMENTS. PROVIDE FINISH PROTECTION TO MATCH ADJACENT LEVELS. EXPOSED LIGHT FIXTURES SHALL BE PROTECTED WITH FLASHING AND TRIM AT PARAPETS.
 - K. AT LOCATIONS OF ELECTRICAL PANELS, INSTALL EXTERIOR RUGS. PROVIDE COVER TO PROTECT AND FINISH TO MATCH ADJACENT RECOMMENDATIONS.

- KEY NOTES**
1. 30 YEAR TYPE A COMPOSITE SHINGLE. TYP.
 2. FLOOR OF HORIZONTAL VINYL SIDING OR APPROVED EQUAL.
 3. ASIDE FLOOR OF BRIDGE. SHIP STYLE VINYL SIDING OR APPROVED EQUAL.
 4. EXTERIOR FINISH SYSTEM. SEE SPECIFICATIONS.
 5. SHIP STYLE VINYL SIDING. SEE FLOOR PLANS, WINDOW SCHEDULE AND SPECIFICATIONS.
 6. EXTERIOR SIDING. SEE FLOOR PLANS, WINDOW SCHEDULE AND SPECIFICATIONS. PAINT AS NOTED.
 7. EXTERIOR SIDING. TRIM PAINT AS NOTED.
 8. PAINT FINISHES. SEE ROOF PLANS FOR ELEMENTS. COLORS AS NOTED. FINISH TO MATCH.
 9. RAISED SIDING. COLORS. COLOR SHOWN.
 10. 1/2" HORIZONTAL TRIM BY FRAMER. AL. METAL. MATCH ALUMINUM AS SHOWN.
 11. 1/2" VERTICAL TRIM BY FRAMER. AL. METAL. MATCH ALUMINUM AS SHOWN.
 12. METAL. MATCH 1/2" FINISH. SEE DETAILS.
 13. ANCHOR BOLTS. GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS.
 14. EXPOSED STUDS. SET IN MORTAR BED WITH FLASHING AND KEEP SCREED. SEE SPECIFICATIONS.
 15. FINISH WITH MORTAR.
 16. IF EXPOSED METAL. EXTERIOR FLASHING BETWEEN ROOF AND ADJACENT EXTERIOR FINISH TO MATCH ADJACENT FINISHES.
 17. 1/2" X 1/2" CERAMIC TILE AT EXTERIOR BROWER ENCLOSURE.
 18. SECTIONAL OVERHEAD GARAGE DOOR.
 19. GARAGE DOOR. WINDOW OPENINGS SHALL BE A MINIMUM OF 3" FROM GARAGE DOOR. SEE SPECIFICATIONS FOR INFORMATION.
 20. CONCRETE UNIT. SEE SHOP PLANS FOR INFORMATION.
 21. ELECTRICAL PANELS. SEE SHOP SHEETS FOR INFORMATION. PAINT TO MATCH ADJACENT SIDING COLORS.

- MATERIAL FINISHES TYPE 2:**
BLDG. TYPES B, D, & COMMUNITY BLDG.
- A) FLOOR OF VINYL SIDING OR APPROVED EQUAL.
 - B) SHIP STYLE VINYL SIDING. COLOR TO MATCH COLOR OF EXTERIOR WALLS.
 - C) ASIDE SHIP STYLE VINYL SIDING.
 - D) COLOR TO MATCH ASIDE SIDING. COLOR TO MATCH ASIDE SIDING.
 - E) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - F) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - G) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - H) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - I) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - J) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.
 - K) EXTERIOR SIDING. COLOR TO MATCH ASIDE SIDING.

NOTE:
SHIP STYLE VINYL SIDING TO MATCH ASIDE SIDING. COLOR TO MATCH ASIDE SIDING.
ALL VENT TERMINATIONS AND OTHER EXTERIOR LIGHT FIXTURES TO BE FINISHED TO MATCH THE ADJACENT WALL SURFACE.

REVISIONS

NO.	DATE	DESCRIPTION
05/06/14		
05/06/14		
05/06/14		

PROJECT: CINNAMON VILLAS PHASE II
SHEET: BLDG B
DATE: 05/06/14



401 E. STATE STREET, SUITE 100
DORRIS, CALIFORNIA 95923
TEL: 916.484.4000
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PROJECT: CINNAMON VILLAS PHASE II
SHEET: BLDG B
DATE: 05/06/14

PROJECT: CINNAMON VILLAS PHASE II
SHEET: BLDG B
DATE: 05/06/14



2 BLDG. B - ELEVATION 2
N.T.S.



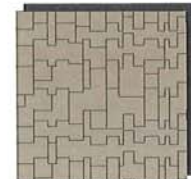
1 BLDG. B - ELEVATION 1
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLOR/TEXTURE GREAT HALL



B HORIZONTAL SIDING
COLOR TO MATCH FRODO'S VINTAGE WICKER
OR 8500-01



C SHAKE SIDING
COLOR TO MATCH HALLS CEILING ROSE



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH HALLS CEILING GREAT HALL



E BRICK VENEER
COLOR TO MATCH COLOR OF WINTER GAMES
CONVERTER STATION "GARAGE" OR 8500-01



F ASPHALT SHINGLES
COLOR TO MATCH COLOR OF WINTER GAMES
WEATHERED WOOD OR 8500-01

REVISIONS

DATE: 05/06/14
DESIGNED BY: BERNARD
PROJECT: PWH14-16

PACIFIC WEST ARCHITECTURE
 1100 SHAWNEE CIRCLE, SUITE 100, WACAMA, FL 32993
 888-333-3333
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Pacific West Architecture
 400 E. STATE STREET, SUITE 100
 LEAVORE, CA 94546
 (925) 961-1100
 (925) 961-1101
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PROJECT: SEC CINNAMON DRIVE & EDON DRIVE
CINNAMON VILLAS PHASE II
 LEAVORE, CA

A8.1



② BLDG. B - ELEVATION 4
N.T.S.



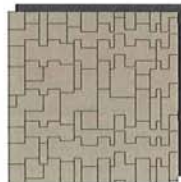
① BLDG. B - ELEVATION 3
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLOR OF GREAT WALL



B HORIZONTAL SIDING
COLOR TO MATCH PRODUCT VENEER IN OTHER ELEVATION



C SHAKE SIDING
COLOR TO MATCH ASIDE BRICK IN OTHER ELEVATION



D VENTS, BELLY BANDS,
WINDOW AND DOOR TRIM
COLOR TO MATCH BRICK "NOSE" TRIM



E BRICK VENEER
COLOR TO MATCH COLOR OF BRICK IN OTHER ELEVATION
BRICK TO MATCH "NOSE" TRIM IN OTHER ELEVATION



F ASPHALT SHINGLES
COLOR TO MATCH COLOR OF BRICK IN OTHER ELEVATION
WEATHERED WOOD OR BRICK

REVISIONS

DATE: 05/06/14
BY: JAW/EG
PROJECT: PWH14-18



Pacific West Architecture

1000 W. STATE STREET, SUITE 100
SACRAMENTO, CALIFORNIA 95811
TEL: (916) 441-8000
WWW.PWA-ARCH.COM

ARCHITECT: JAW/EG, CALIFORNIA LICENSE NO. 10000
PROJECT ARCHITECT: JAW/EG, CALIFORNIA LICENSE NO. 10000
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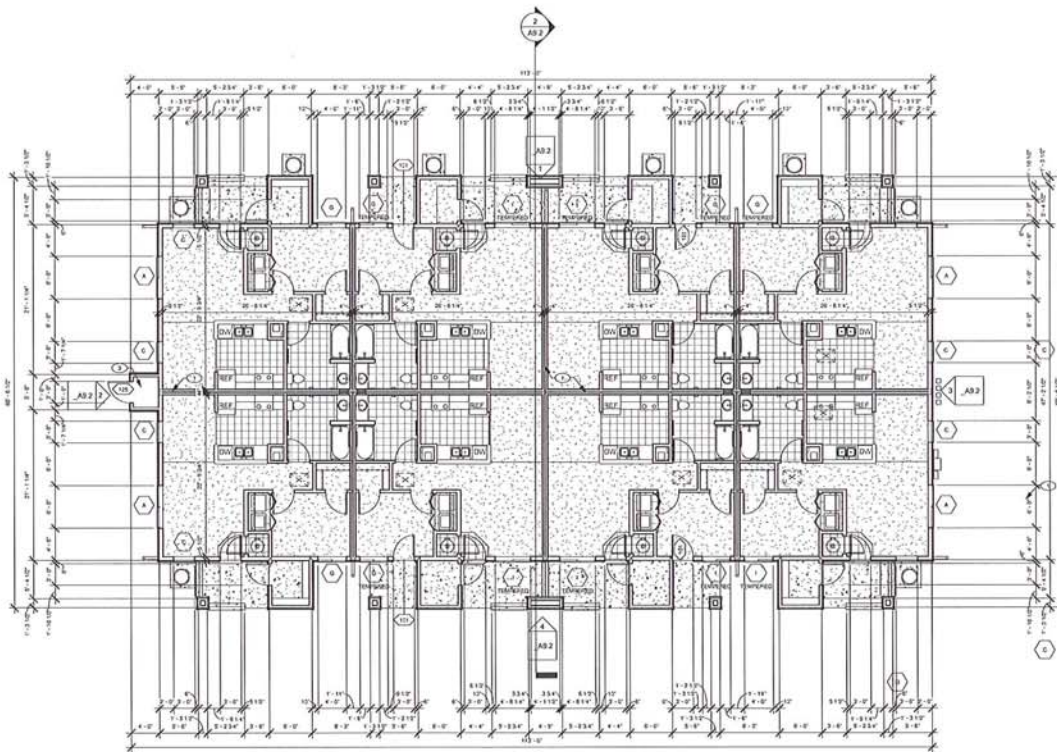
PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & STONY DRIVE
LIMORE, CA

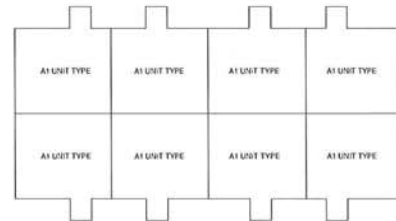
_A8.2

BUILDING PERMIT SUBMITTAL SET



1 BLDG. C - 1ST FLOOR PLAN
1/8" = 1'-0"

2 BLDG. C - UNIT LEGEND
1/16" = 1'-0"



- GENERAL NOTES**
- A REFER TO SHEETS A-1 - A-4 FOR DETAILED FLOOR PLANS FOR TYPICAL UNIT TYPES
 - B REFER TO STRUCTURAL DRAWINGS SERIES FOR ADDITIONAL INFORMATION
 - C FINISH FLOOR SHALL BE FINISH POLISHED CONCRETE WITH 1/4" THICK POLISHED POLYURETHANE FINISH
 - D START TOP FINISH FLOOR ON SECTION T-1 - SEE STRUCTURAL DETAIL. FINISH FLOOR SHALL BE FINISH POLISHED CONCRETE WITH 1/4" THICK POLISHED POLYURETHANE FINISH
 - E FINISH FLOOR SHALL BE FINISH POLISHED CONCRETE WITH 1/4" THICK POLISHED POLYURETHANE FINISH
 - F FINISH FLOOR SHALL BE FINISH POLISHED CONCRETE WITH 1/4" THICK POLISHED POLYURETHANE FINISH
 - G REFER TO ARCHITECTURAL SITE PLAN FOR EXTERIOR WHEN TILES, FINISHES, SPECIFICATIONS AND APPURTENANCES
 - H SEE DETAIL SHEETS FOR MORE INFORMATION AND BUILDING DETAILS
 - I ALL WALL DIMENSIONS ARE FROM FACE OF STUDY SURFACE OF STUDY
 - J REFER TO MECHANICAL PLAN FOR EXHAUST AND EQUIPMENT PROVIDED BY OWNER OR OWNER'S AGENTS
 - K SEE ELECTRICAL SERIES FOR LOCATION OF ALL ELECTRICAL FINISHES
 - L FINISH FLOOR SHALL BE FINISH POLISHED CONCRETE WITH 1/4" THICK POLISHED POLYURETHANE FINISH
 - M ALL ANIMAL FACILITIES (SHEEP, GOATS) ARE TO BE FED AND RECEIVE FINISHES NOTED ON FINISH SCHEDULE AND SPECIFICATIONS
 - N SEE SPECIFICATION SECTIONS 11.10 FOR CONTRACTOR PROVIDED RESIDENTIAL EQUIPMENT. VERIFY WITH PLUMBER'S ELECTRICAL DRAWING REVERBERATION OF GAS AND POWER FOR APPLIANCES
 - O GENERAL CONTRACTOR TO INSTALL FIRE EXTINGUISHERS IN CLOSETS PER LOCAL FIRE DEPARTMENT REGULATIONS. SEE SPECIFICATION SECTION 11.10 FOR FURTHER INFORMATION. CAPACITY TO BE DETERMINED AND ESTABLISHED AT OWNER'S CONSULTATION WITH FIRE DEPARTMENT
 - P TO COORDINATE LOCATION AND NUMBER WITH LOCAL, JURISDICTIONAL AUTHORITIES. MOUNTING HEIGHT AND INSTALLATION SHALL BE GOVERNED BY LOCAL, JURISDICTIONAL AUTHORITIES
 - Q AT ALL BUILDERS' CALCULATE EDGE ANGLE AND TIE. SHOWS PROTECTIVE FINISH FOR ANTI-ROOF CONSTRUCTION. INSTALL TOP REFERENCE AT WALL FOOTING PER SPECIFICATIONS
 - R AT ALL BLDG. SECURE THE BONDING POTENTIAL FOR FINISH APPEARANCE AT ALL PLUMBING PENETRATIONS BENEATH SLABS
 - S AT ALL PLATES INSTALL SHALL BE TOP WATER STOP 1" x 3" x 1/2" BALL BEAM BEAM
 - T SEE ALL DETAILS
 - U SEE ALL DETAILS
 - V SEE ROOF PLANS FOR LOCATIONS & SPECIFICATIONS ON ATTIC ACCESS FINISHES. COORDINATE LOCATION WITH ROOF FINISHES. WHERE ATTIC ACCESS IS TO BE INSTALLED IN 1 HOUR CEILING FINISHES SHALL BE ASSEMBLY
 - W SEE ALL DETAILS FOR FINISHES AND MATERIALS
 - X FINISHES AT DOORWAYS SHALL NOT EXCEED 3/4" HEIGHT FOR BUILDING CODES. SEE FINISH SCHEDULES FOR OTHER DOORWAYS PER EC 0112.01.01
 - Y ANIMAL SPACES AT AND PANELS, ELECTRICAL CABLES, CONDUITS OR OTHER SERVICES IN PLACES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSED SLIT OPENINGS WITH TIGHTENED WORKING JOINTS. BRUSHING OR OTHER METHODS ACCEPTABLE TO THE ENGINEERING AGENCY
- KEY NOTES**
- 1 1 HOUR RATED EXTERIOR WALL PER 2012 IRC 703.1 SEE DETAIL 10A101
 - 2 SCHEDULED CEILING AREA TO BE A MIN. HEIGHT OF 7'-6" AFF. MIN. HEIGHT TO FINISH SURFACE NOT TO EXCEED 8'-0" SEE DETAIL 8A101
 - 3 FINE SPRINKLER CLOSET
 - 4 FIRE MANUFACTURED METAL STAIRS - CONCRETE TREADS
 - 5 EXTEND GIP BOARD BENEATH BOARD FLOOR AT 1 HOUR WALL TO MATCH 1 HOUR PARTITION
 - 6 1 HOUR RAIL. SEE DETAIL 8A102
 - 7 ELEVATOR. SEE EXTERIOR SUBMITTALS ON T-1 AND DETAIL 1A103
 - 8 1 HOUR CORridor RAIL. SEE DETAIL 10A102
- WALL LEGEND**
- 1-HOUR WALL

REVISIONS

NO.	DATE	DESCRIPTION
1	05/05/14	ISSUED
2	05/05/14	REVISION
3	05/05/14	REVISION

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1000 STATE STREET, SUITE 100
SAN FRANCISCO, CA 94102
TEL: 415.774.1000
WWW.PACIFICWESTARCH.COM

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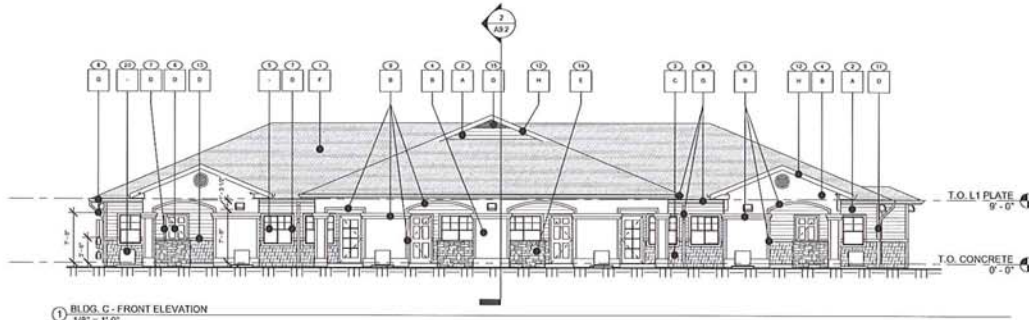
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SAN FRANCISCO, CA 94102
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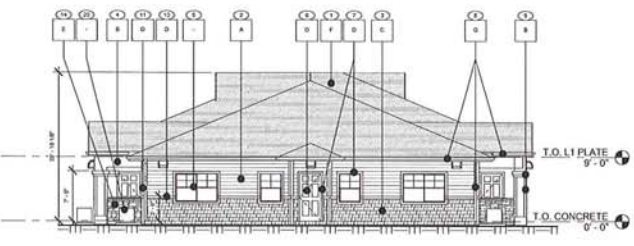
PROJECT
CINNAMON VILLAS PHASE II
SEC CINNAMON DRIVE & TOWN DRIVE
LIMONCO, CA

A9.1

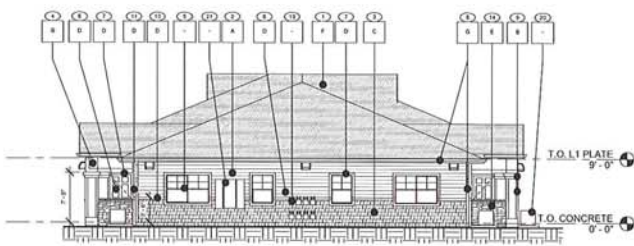
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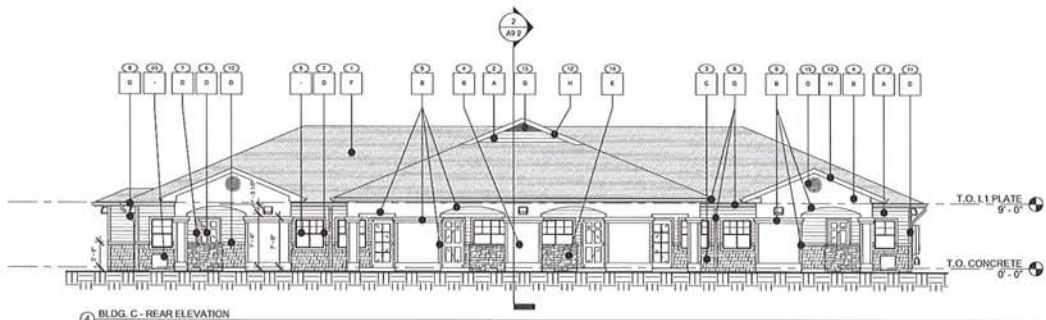
1 BLDG. C - FRONT ELEVATION
1/8" = 1'-0"



2 BLDG. C - LEFT ELEVATION
1/8" = 1'-0"



3 BLDG. C - RIGHT ELEVATION
1/8" = 1'-0"



4 BLDG. C - REAR ELEVATION
1/8" = 1'-0"

- GENERAL NOTES**
- A. SEE BUILDING SECTIONS AND STRUCTURAL SEES FOR FLOOR EIGHTS
 - B. BLUETON (2) IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ACTUAL FLOOR ELEVATIONS
 - C. SEE ROOF PLANS FOR VENTILATION REQUIREMENTS, SIZES AND SPACINGS
 - D. SEE STRUCTURAL DRAWINGS FOR FRAMING AND FOUNDATION PLANS DETAILS
 - E. SEE CIVIL, PLUMBING, ELECTRICAL AND JOINT BRANCHING AND FOR LOCATIONS OF EXTERIOR MOUNTED UTILITIES AND METER RANGES
 - F. SEE SPECIFICATIONS FOR APPROVED MANUFACTURERS, MODEL DESIGNATIONS, ALTERNATE SIZES FOR APPROVAL BY ARCHITECT OR ENGINEER OF RECORD
 - G. VERIFY CONDITIONS TO DETERMINE QUALITY OF ALL IN-HOUSE, VENUE, UTILITY NETWORKS, AND EXISTING FINISHES WITH OWNER REPRESENTATIVE PARTY BEFORE COMMENCEMENT OF WORK AND REPORT TO ARCHITECT
 - H. ALL EXPOSED IRONWORK SHALL BE PAINTED AND PROTECTED AS SHOWN AT ALL TIMES UNLESS OTHERWISE SPECIFIED
 - I. ALL EXPOSED ROOF TOP STRUCTURES INCLUDING, BUT NOT LIMITED TO VENT STACKS, AIR SEALS, AIR CURTAINS, AND EXHAUST GAS HOLDERS SHALL BE PAINTED TO MATCH ADJACENT WALLS AND SURFACES OF ADJACENT ROOF TOPS
 - J. EVERYTHING EXPOSED TO WEATHER SHALL BE PAINTED WITH QUALITY FINISHES SPECIFICATIONS FOR SIZE, CREATION AND INSTALLATION SHALL BE PROVIDED TO MATCH EXISTING TO MATCH ADJACENT WALLS AND SURFACES OF ADJACENT ROOF TOPS
 - K. AT LOCATIONS OF ELECTRICAL PANEL INSTALLATION AT EXTERIOR WALLS, PROVIDE CORNER BRACING AND EXPOSED SURFACES PER WRB RECOMMENDATIONS

- KEY NOTES**
1. 30 YEAR TYPE A COMPOSITE SHINGLE, TYP
 2. FROOF HORIZONTAL VENTS BEING APPROXIMATED EQUAL
 3. AL SEE FROOF 3" HOLE SHAKE STYLE VENTS BEING APPROXIMATED EQUAL
 4. GYVENT STUCCO SYSTEM - FINISH HEAVY DASH
 5. WHITE GYVENT WALLS. SEE FLOOR PLANS, WINDOW SCHEDULE, AND SPECIFICATIONS
 6. EXTERIOR DOORS SEE FLOOR PLANS, DOOR SCHEDULE, AND SPECIFICATIONS. PAINT AS NOTED
 7. DOOR/MOOD TRIM PAINT AS NOTED
 8. HUE FINISHED METAL GUTTER. SEE ROOF PLANS FOR EXACT COLORS AND MATCH ADJACENT WALLS
 9. PAINTED METAL HANDRAIL
 10. 3x6 HORIZONTAL TRIM BY FRAMER W/ METAL WRAP. ALUMINUM TRIM 3x6x1/2
 11. 4" ARCHITECT TRIM TRIM
 12. METAL WRAP AT UTILITY PENETRATIONS. SEE DETAILS
 13. ANCHOR BOLTS, GABLE END VENT. PAINT AS NOTED. SEE ROOF PLANS
 14. GYVENT STUCCO SYSTEM. SET FINISH TO MATCH EXISTING AND KEEP SCHEDULE SEE SPECIFICATIONS
 15. PAINTED METAL HANDRAIL
 16. EXPOSED EQUAL COUNTER FLASHING BETWEEN ROOF AND ADJACENT SIDE WALLS TO MATCH ADJACENT SIDING
 17. WOODS CEMENT TILE AT EXTERIOR ENCLOSURE
 18. SECTIONAL GLASS GARAGE DOOR
 19. 6x6 METAL. MATCH OPENINGS MUST BE A MINIMUM OF 2" FROM GABLE VENTS. SEE SHOP SHEETS FOR INFORMATION
 20. EXTERIOR PAINT. SEE SHOP SHEETS FOR INFORMATION
 21. ELECTRICAL PANEL. SEE SHOP SHEETS FOR INFORMATION. PAINT TO MATCH ADJACENT ENCLOSURE

- MATERIAL FINISHES TYPE II:**
- A. FROOF "COLOR MATCH" OR EQUAL
 - B. HUE FINISH. COLOR TO MATCH EXISTING "SHAKE" TYPE
 - C. GYVENT STUCCO SYSTEM OR EQUAL
 - D. COLOR TO MATCH EXISTING "WOODS CEMENT"
 - E. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - F. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - G. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - H. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - I. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - J. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - K. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - L. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - M. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - N. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - O. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - P. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - Q. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - R. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - S. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - T. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - U. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - V. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - W. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - X. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - Y. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"
 - Z. DIMENSIONAL FINISH TO MATCH EXISTING "WOOD TRIM"

NOTES: NOT SHOWN COLOR TO MATCH EXISTING "WOODS CEMENT" ALL VENT TERMINATIONS AND OTHER EXTERIOR UTILITY EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT WALL SURFACE.

REVISIONS

NO.	DATE	DESCRIPTION
1	05/05/14	DEVELOPING
2	05/05/14	DEVELOPING

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435 E. STATE STREET, SUITE 100
DOWNEY, CALIFORNIA 90241
TEL: (562) 441-1000
WWW.PACIFICWESTARCHITECTURE.COM

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PROJECT

CINNAMON VILLAS PHASE II

SEC CINNAMON DRIVE & ETON DRIVE
LINDSAY, CA

BUILDING PERMIT SUBMITTAL SET

A9.2



2 BLDG. C - ELEVATION 4
N.T.S.



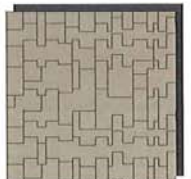
1 BLDG. C - ELEVATION 3
N.T.S.



A STUCCO SIDING
COLOR TO MATCH COLORKEY "SPONGE" OR EQUAL.



B HORIZONTAL SIDING
COLOR TO MATCH COLORKEY "COMMON FLOOR" OR EQUAL.



C SHAKE SIDING
COLOR TO MATCH COLORKEY "STONE" OR EQUAL.



D VENTS, BELLY BANDS, WINDOW AND DOOR TRIM
COLOR TO MATCH COLORKEY "DOOR TRIM" OR EQUAL.



E BRICK VENEER
COLOR TO MATCH COLORKEY "MATERIALS" OR EQUAL.



F ASPHALT SHINGLES
COLOR TO MATCH COLORKEY "ROOF" OR EQUAL.

REVISIONS

DATE: 05/06/14
DESIGN: DE-AN/DG
PROJECT: P120114-16

PACIFIC WEST ARCHITECTURE
 400 E. STATE STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90012
 (213) 481-1000
 WWW.PACIFICWESTARCH.COM
 LICENSE NO. 12517
 CONTRACTOR: N/A TO BE DETERMINED BY THE ARCHITECT
 COMMERCIAL: YES



Pacific West Architecture
 400 E. STATE STREET, SUITE 100
 LOS ANGELES, CALIFORNIA 90012
 (213) 481-1000
 WWW.PACIFICWESTARCH.COM
 LICENSE NO. 12517

PROJECT: CINNAMON VILLAS PHASE II
 SEC. CINNAMON DRIVE & TITUS DRIVE
 LEMOORE, CA

_A10.2




1 SITE ELECTRICAL PLAN
 SCALE: 1" = 30'-0"



NO.	REVISIONS

DATE: 05/14
TIME: 04:00
BY: [Signature]
PROJECT: PH014-18

THE INFORMATION CONTAINED ON THESE PLANS IS THE PROPERTY OF ADC ENGINEERING. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF ADC ENGINEERING IS STRICTLY PROHIBITED.

Pacific West Architecture
 605 E. STATE STREET, SUITE 100
 DALLAS, TEXAS 75202
 TEL: 214-742-4200
 WWW.PWA.COM

ALVIN J. JORDAN, ARCHITECT, LICENSE NO. 14816
 LOUISIANA ARCHITECTURE BOARD, NORTH DARTMOUTH, VERMONT
 SOUTH DARTMOUTH, U.S.A. | 1306 WASHINGTON WOODING

CINNAMON VILLAS PHASE II
 1500 CINNAMON DRIVE & 15TH DRIVE
 DALLAS, TX

E1.00

SCHEMATIC SET / NOT FOR CONSTRUCTION



FEATURES & SPECIFICATIONS

DMW100 - 100W LED recessed lighting fixture with 100W LED power source. Available in multiple finishes and mounting options. Features a wide beam spread and a long life span.



Table with columns: Data, Number of Fixtures, Beam Angle, Mounting, Finish, and Notes. Includes a table for beam spread and a list of notes.



FEATURES & SPECIFICATIONS

KAD - 100W LED recessed lighting fixture with 100W LED power source. Available in multiple finishes and mounting options. Features a wide beam spread and a long life span.

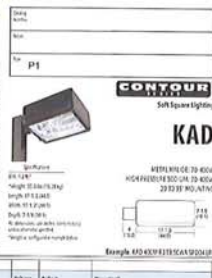


Table with columns: Data, Number of Fixtures, Beam Angle, Mounting, Finish, and Notes. Includes a table for beam spread and a list of notes.



FEATURES & SPECIFICATIONS

TWF1 - 100W LED recessed lighting fixture with 100W LED power source. Available in multiple finishes and mounting options. Features a wide beam spread and a long life span.



Table with columns: Data, Number of Fixtures, Beam Angle, Mounting, Finish, and Notes. Includes a table for beam spread and a list of notes.

REVISIONS table with columns: No., Description, Date, and By. Includes a note about the drawing's validity.

PROJECT: Pacific West Architecture. ADDRESS: 10000 N. 100th St., Suite 100, Redmond, WA 98073. PHONE: (509) 881-1111.

CINNAMON VILLAS PHASE II. PROJECT: SCHEDULED FOR CONSTRUCTION. LOCATION: LEWIS & CLARK, LEWIS & CLARK, LEWIS & CLARK.



E1.20. APE ENGINEERING logo and contact information.



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

Staff Report

To: Lemoore Planning Commission Item No. 8
From: Steve Brandt, City Planner
Date: February 6, 2017 **Meeting Date:** February 13, 2017
Subject: **Major Site Plan Review No. 2017-02:** a request by Wathen Castanos for approval of new single-family home master plans (floor plans and elevation plans) to be constructed in conjunction with the approved Capistrano V (Tract 908) subdivision, located just south of Bush Street, on the east side of Barcelona Street, and approximately 150 feet north of Toledo Street (APN 023-040-057.)

Proposed Motion:

Move to adopt Resolution No. 2017-03, approving Major Site Plan No. 2017-02 for the home master plans for Wathen Castanos at Tract 908, with the attached conditions.

Project Proposal:

This project is requesting approval of the single-family home master plans for the Tract 908 subdivision (Capistrano V). Wathen Castanos is acquiring this approved 20-lot subdivision, with the intention of building the proposed homes. These homes are very similar to the homes currently under construction at Wathen Castanos' Atherton neighborhood in Lemoore (Tract 910.) Since the tentative subdivision map is already approved, this Planning Commission action is limited to review of the home plans for consistency with the single-family home architectural design standards that are in the Zoning Ordinance.

Applicant	Wathen Castanos
Location	South of Bush Street, on the east side of Barcelona Street, and approximately 150 feet north of Toledo Street
Existing Land Use	Vacant land
APN(s)	APN 023-040-057
Total Building Size	5 master plan homes between 1,356 sq.ft. and 1,940 sq.ft.
Lot Size	20 lots between 6,850 sq.ft. and 21,135 sq.ft.

Zoning Low Density Residential (RLD)
General Plan Low Density Single-family Residential

Adjacent Land Use, Zone, and General Plan Designation

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	One single-family home on a large lot	RMD and MU	Medium Density Multi-family Residential and Mixed Use
South	Single-family residences	RLD	Low Density Single-family Residential
East	Agriculture (row crops)	County	County
West	Single-family residences	RLD	Low Density Single-family Residential

Previous Relevant Actions:

The tentative map for Capistrano V was approved by the Planning Commission on October 28, 2013. The tentative map expired because a final map was not submitted within two years, and no extensions were requested. A new property owner applied for a new tentative map (Tract 908) in the same configuration as the previous map. It was approved by the Planning Commission on July 11, 2016. Condition No. 2 of that approval stipulated that the eventual homebuilder apply for a Major Site Plan Review with their master home plans so that they could be reviewed by the Planning Commission.

Residential Design Standards:

The architecture of the home plans is depicted in the attached floor plans and elevation plans. Five floor plans were submitted with square footages of 1,356, 1,575, 1,786, 1,843, and 1,940 square feet. The smallest home is a single-story home and can have 2 or 3 bedrooms, while the other four are two-story homes that can have 3 or 4 bedrooms. All the homes have their garages set back behind first-floor living space. All homes will have composition shingle roofs.

Each plan is available in three types of front facades, which results in 15 possible front facades in the neighborhood. The types of facades are differentiated by changes to roof pitch in the front of the home and in front façade detailing.

Staff reviewed the home master plans and elevations for conformance with Lemoore’s Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all, a total of 15 possible different front elevation “looks” would be available to meet the City’s “six pack” rule. The front porches, while relatively small, did meet the minimum size standards for covered entries and porch size.

Staff has added as a condition of approval that the standard requirement that the detailing placed on the front of the house be wrapped around to the side of house on the street side of corner lots. All other requirements for new master plan home designs are being met.



Example of homes from Tract 910 - Aniston Place North (sales name: Atherton)

Landscaping:

The State's Model Water Efficient Landscape Ordinance (MWELo) requires homebuilders to submit landscape plans for front yards. When a homebuilder utilizes master home plans (as opposed to custom home plans) the City accepts master landscape plans to meet MWELo requirements. The master landscape plans submitted were used for Tract 910, not the current Tract 908. Since the Tract 908 lots are larger, there will be more landscaping in the front yards. A condition has been added to require new master landscape plans for Tract 908.

Environmental Assessment:

The project has been determined to be statutorily exempt from CEQA because Major Plan Review is not a discretionary action.

Recommended Approval Findings:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Recommended Conditions to Implement Zoning Ordinance Standards:

1. The site shall be developed consistent with the approved tentative map and applicable development standards found in the Zoning Ordinance and City Municipal Code.
2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.
3. For homes placed on corner lots, the stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.
4. Master landscape plans shall be submitted for review and approval prior to issuance of building permits using a typical lot from Tract 908.

Attachments:

Vicinity Map

Draft Resolution

Approved Tentative Map

Floor and Elevation Plans



Vicinity Map
Major Site Plan Review No. 2017-02

RESOLUTION NO. 2017-03

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING MAJOR SITE PLAN REVIEW NO. 2017-02
FOR NEW SINGLE-FAMILY HOME MASTER PLANS
FOR THE CAPISTRANO V (TRACT 908) SUBDIVISION
LOCATED JUST SOUTH OF BUSH STREET, ON THE EAST SIDE OF BARCELONA STREET, AND
APPROXIMATELY 150 FEET NORTH OF TOLEDO STREET, IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on February 13, 2017, at 7:00 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____ and carried that the following Resolution be adopted:

WHEREAS, Wathen Castanos has requested a major site plan review for approval of new single-family home master plans for the Capistrano V Subdivision located just south of Bush Street, on the east side of Barcelona Street, and approximately 150 feet north of Toledo Street (APN 023-040-57?); and

WHEREAS, the Capistrano V Subdivision is an approved tentative subdivision map that has not been finalized; and

WHEREAS, the project is statutorily exempt from the California Environmental Quality Act (CEQA) because the approval is a non-discretionary action; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its February 13, 2017, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed major site plan review:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2017-02, subject to the following conditions:

1. The site shall be developed consistent with the approved tentative map and applicable development standards found in the Zoning Ordinance and City Municipal Code.
2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.

3. For homes placed on corner lots, the stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.
4. Master landscape plans shall be submitted for review and approval prior to issuance of building permits using a typical lot from Tract 908.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on February 13, 2017, by the following votes:

AYES:
NOES:
ABSTAINING:
ABSENT:

APPROVED:

Ron Meade, Chair

ATTEST:

Kristie Baley, Secretary

DATE: 8-2015
 REVIEWED BY: P. J. CHICK
 DATE: 7-2015
 DATE: 0000-0000/00/00
 DATE: 0000-0000/00/00

GENERAL NOTES:

1. ROOF COVERING SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT D.C. CODE.
2. ALL ROOFING SHALL BE INSTALLED OVER 1/2" MINIMUM THICKNESS OF 1/2" CONCRETE.
3. ROOF SHEETING SHALL BE INSTALLED OVER 1/2" MINIMUM THICKNESS OF 1/2" CONCRETE.
4. PROVIDE FLASHING AND COUNTER FLASHING AT ALL ROOF PENETRATIONS AND FLASHING SHALL BE INSTALLED OVER ALL ROOF PENETRATIONS AND FLASHING SHALL BE INSTALLED OVER ALL ROOF PENETRATIONS.
5. PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 30-HIGH WIDE UNDERLAP AND DIRECTLY UNDERLAP.
6. PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 30-HIGH WIDE UNDERLAP AND DIRECTLY UNDERLAP.
7. PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 30-HIGH WIDE UNDERLAP AND DIRECTLY UNDERLAP.
8. PROVIDE FOR ALL TYPES OF ROOF SHEET METAL VALLEY FLASHING WITH A 30-HIGH WIDE UNDERLAP AND DIRECTLY UNDERLAP.

EXTERIOR LATH MATERIALS:

1. EXTERIOR LATH SHALL BE 1/2" THICK.
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6. EXTERIOR LATH SHALL BE 1/2" THICK.
7. EXTERIOR LATH SHALL BE 1/2" THICK.
8. EXTERIOR LATH SHALL BE 1/2" THICK.

MANUFACTURED VENEER NOTES:

1. EXTERIOR VENEER SHALL BE 1/4" THICK.
2. EXTERIOR VENEER SHALL BE 1/4" THICK.
3. EXTERIOR VENEER SHALL BE 1/4" THICK.
4. EXTERIOR VENEER SHALL BE 1/4" THICK.
5. EXTERIOR VENEER SHALL BE 1/4" THICK.
6. EXTERIOR VENEER SHALL BE 1/4" THICK.
7. EXTERIOR VENEER SHALL BE 1/4" THICK.
8. EXTERIOR VENEER SHALL BE 1/4" THICK.

ROOFING PRODUCTS:

1. ALL ROOFING PRODUCTS SHALL MEET THE REQUIREMENTS OF THE CURRENT D.C. CODE.
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8. ALL ROOFING PRODUCTS SHALL MEET THE REQUIREMENTS OF THE CURRENT D.C. CODE.

RADIANT BARRIER ROOF SHEATHING:

1. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
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7. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
8. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.

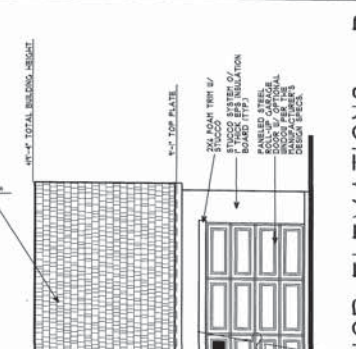
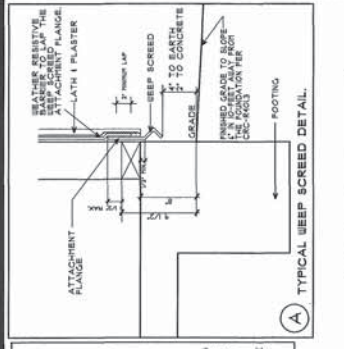
EXTERIOR ELEVATIONS - B

FRONT ELEVATION

LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

REAR ELEVATION



ROOFING PRODUCTS:

1. ALL ROOFING PRODUCTS SHALL MEET THE REQUIREMENTS OF THE CURRENT D.C. CODE.
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8. ALL ROOFING PRODUCTS SHALL MEET THE REQUIREMENTS OF THE CURRENT D.C. CODE.

RADIANT BARRIER AT GABLE ENDS:

1. RADIANT BARRIER AT GABLE ENDS SHALL BE 1/4" THICK.
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8. RADIANT BARRIER AT GABLE ENDS SHALL BE 1/4" THICK.

EXTERIOR LATH MATERIALS:

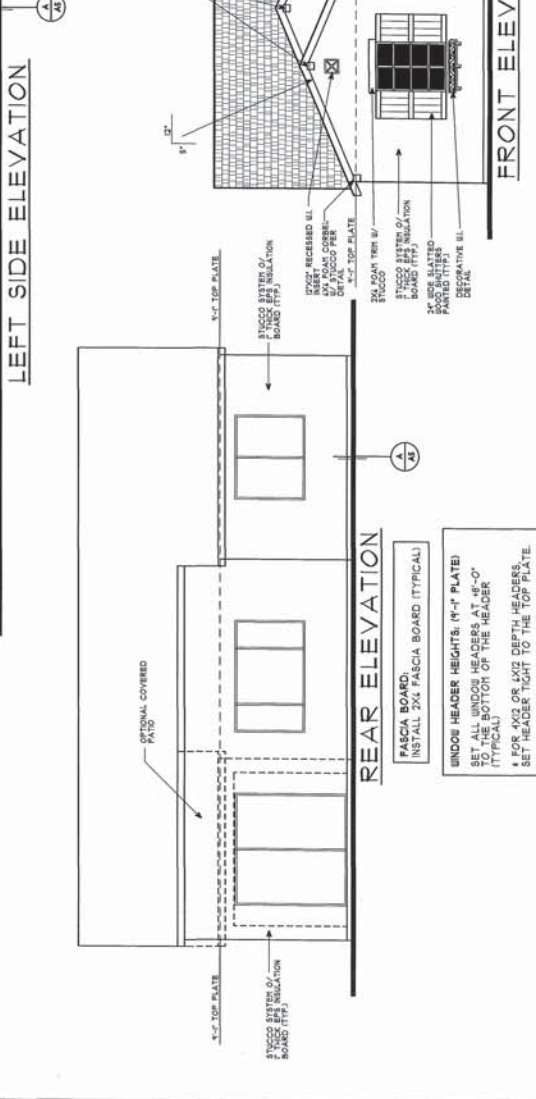
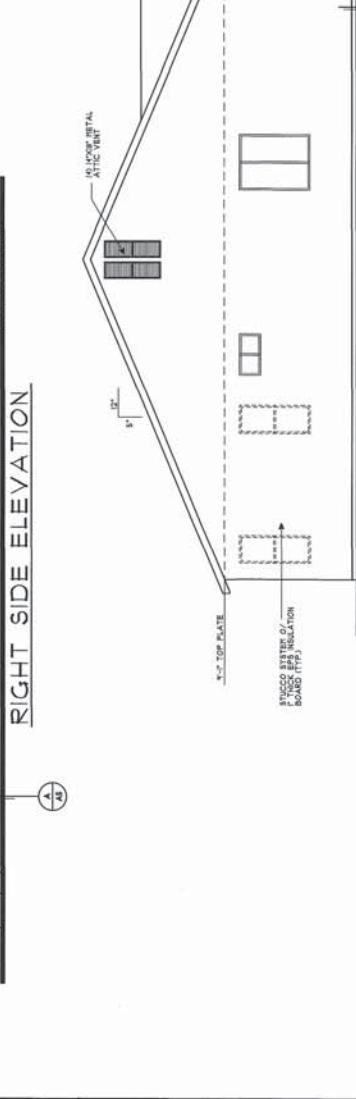
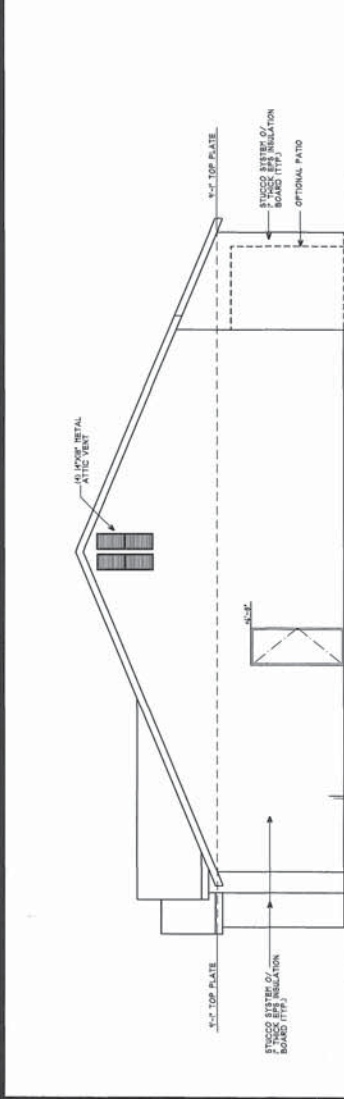
1. EXTERIOR LATH SHALL BE 1/2" THICK.
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MANUFACTURED VENEER NOTES:

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7. EXTERIOR VENEER SHALL BE 1/4" THICK.
8. EXTERIOR VENEER SHALL BE 1/4" THICK.

RADIANT BARRIER ROOF SHEATHING:

1. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
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3. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
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6. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
7. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.
8. RADIANT BARRIER ROOF SHEATHING SHALL BE 1/4" THICK.



RON POPE & ASSOCIATES

488 W. KENOSHA AVE. CLOVIS, CA 95319
 P: 530.938.7200 F: 530.938.7201
 E-MAIL: ron@ronpope.com

PLAN NO. 1356

DATE: 08/13/15

SCALE: 1/4" = 1'-0"

SHEET NO. A-4

DATE DRAWN: B-2015
 REVIEWED: P.M. CHECK /
 DATE: 3-2015
 CODE: 100119 /
 DATE: 3-2015

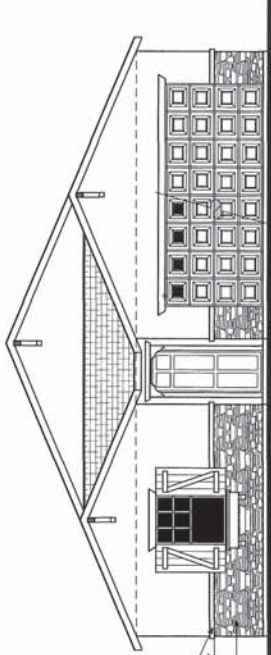
GENERAL NOTES:

- MANUFACTURED VENEER NOTES:**
1. MANUFACTURER: CONCRETE STONEWORK INDUSTRIES
 2. PRECAST CONCRETE BRICK AND STONE VENEER.
 3. INSTALLATION OF ELDERBROOK STONE PRECAST STONE VENEER MUST COMPLY WITH THE ABOVE NOTED REPORT. THE MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE FOLLOWED AND THE APPLICABLE CODES. THE MANUFACTURER'S WARRANTY DOES NOT COVER THE VENEER. THE VENEER IS NOT TO BE APPLIED AT ALL TIMES DURING INSTALLATION. THE VENEER IS TO BE APPLIED TO A CONSISTENT COURSE OF CONCRETE MASONRY.

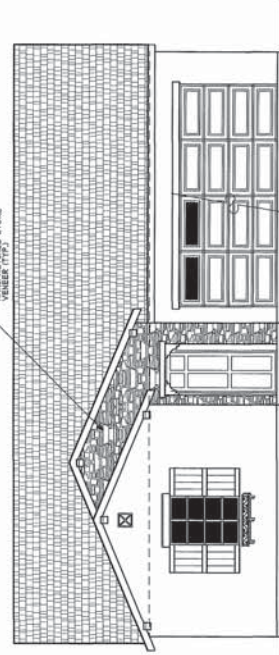
RON POPE & ASSOCIATES
 488 W. KENOSHA AVE. GLOVIS, CA. 93618
 (562) 431-1111
 F-MAIL: ron.pope@ronpope.com

PLAN NO. 1356
 DRAWN BY: RON POPE
 SCALE: 1/4" = 1'-0"

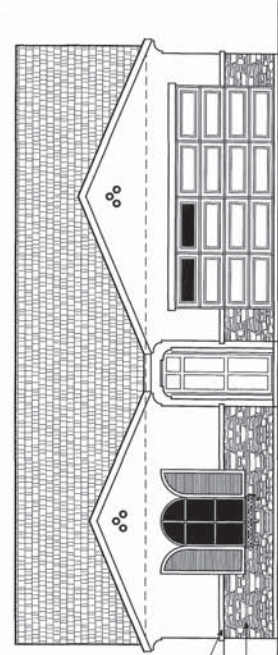
JOB NO. 151354
 SHEET NO. A-6



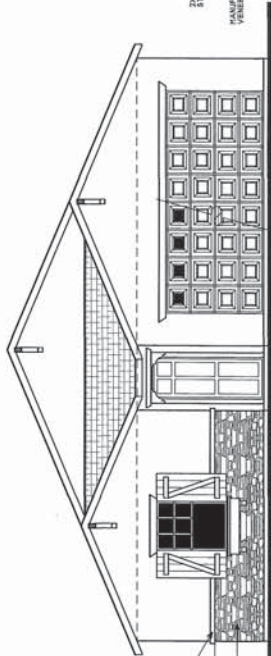
FRONT ELEVATION - A (STONE #1)



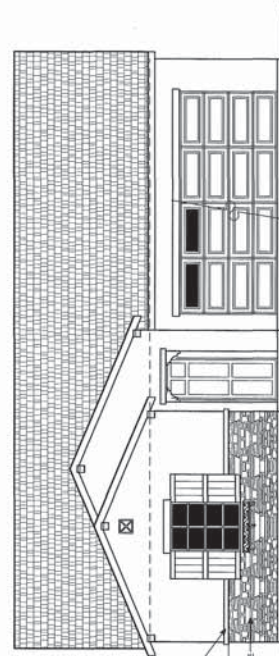
FRONT ELEVATION - B (STONE #2)



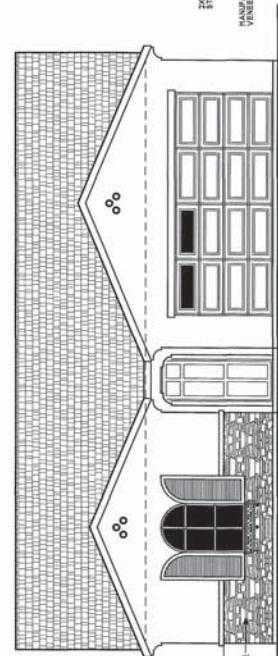
FRONT ELEVATION - C (STONE #3)



FRONT ELEVATION - A (STONE #1)



FRONT ELEVATION - B (STONE #2)



FRONT ELEVATION - C (STONE #3)

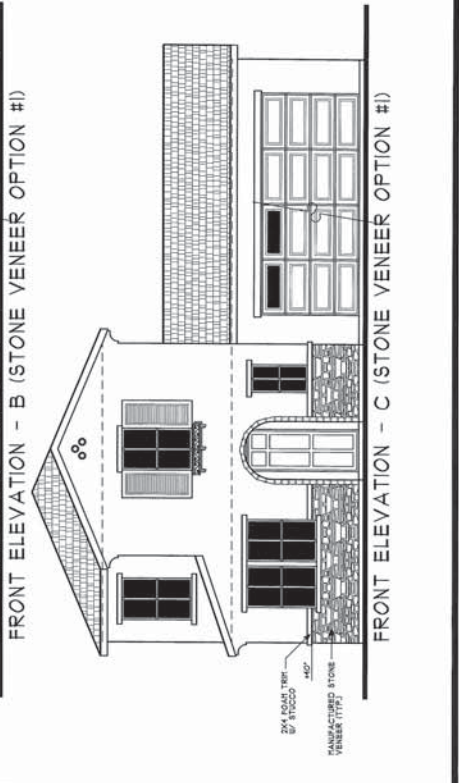
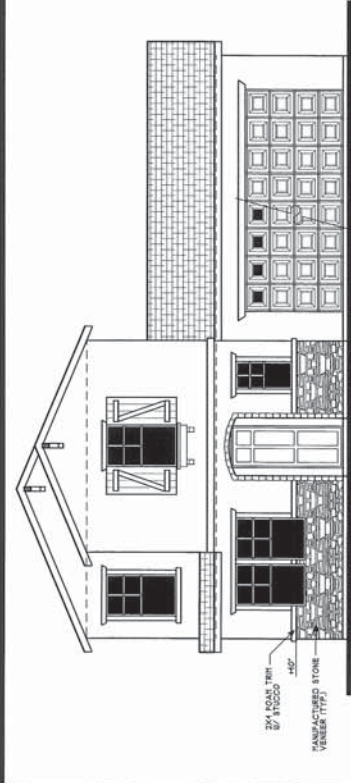
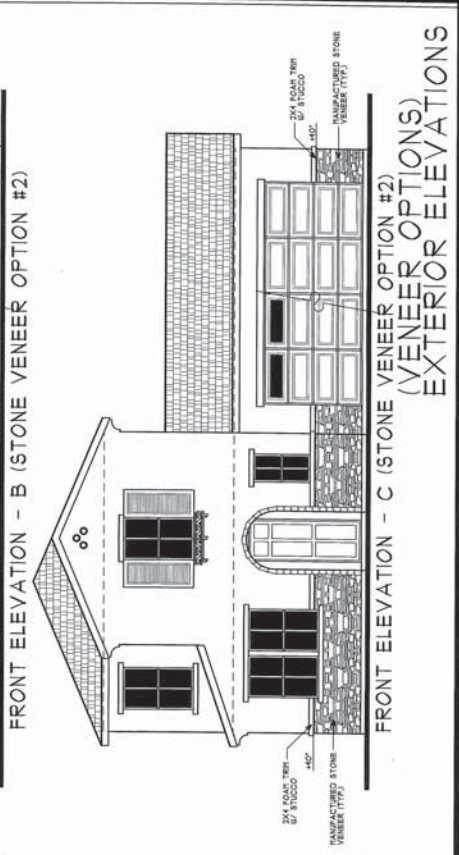
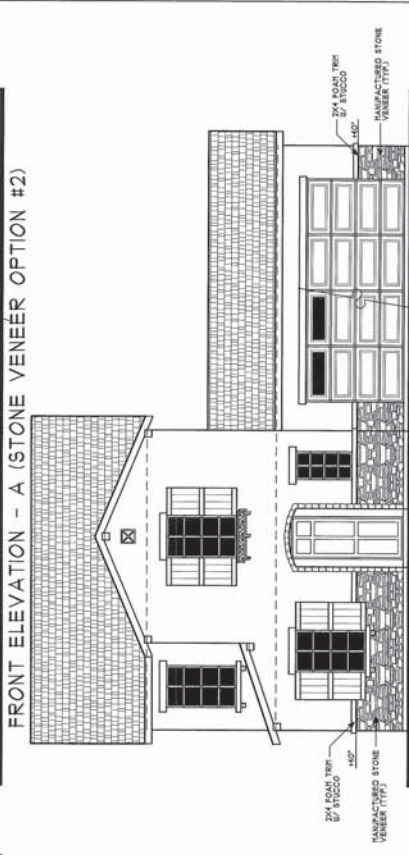
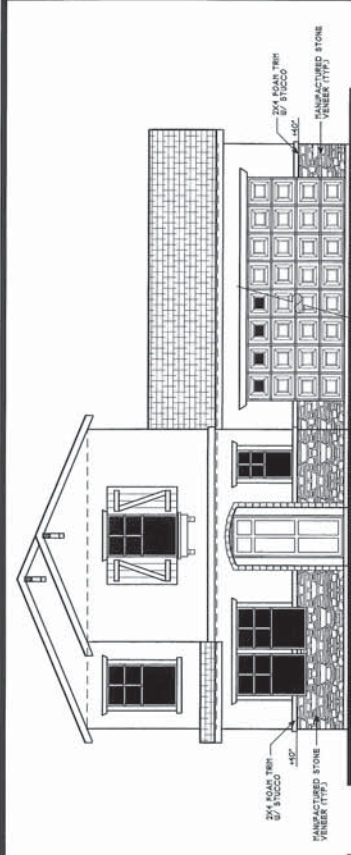
VENEER OPTIONS

DATE DRAWN: 8-2015
 REVISIONS:
 DATE P.L.A. CHECK: []
 DATE: 08-15-2015
 DATE: []
 DESIGNER: []
 SINCE 1985

GENERAL NOTES:
 1. MANUFACTURED STONE VENEER SHALL BE INSTALLED OVER A 1/2" STUCCO LATH AND 1/2" STUCCO BACKING AND STONE GROUT.
 2. STUCCO SHALL BE APPLIED TO THE ENTIRE EXTERIOR SURFACE OF THE BUILDING.
 3. REPORT NO. 104-181.
 4. INSTALLATION OF MANUFACTURED STONE VENEER SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS AND THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS SHALL BE OBTAINED FROM THE MANUFACTURER.
 5. JOINTS AT ALL TIMES DURING INSTALLATION, THE VENEER SHALL BE SET INTO A BED OF MORTAR OR CONCRETE OR CONCRETE MASONRY.
 6. FINISH STAGES OF BUILDING PAPER BEHIND THE GROUT.
 7. [] (SEE NOTES)

RON POPE & ASSOCIATES
 468 W. KENDOSHA AVE. CLOVIS, CA 93818
 (559) 397-2708
 E-MAIL: ron.pope@ronpope.com

PLAN NO. 1575
 JOB NO. []
 SHEET NO. []
 SCALE: 1/4" = 1'-0"
 A-7



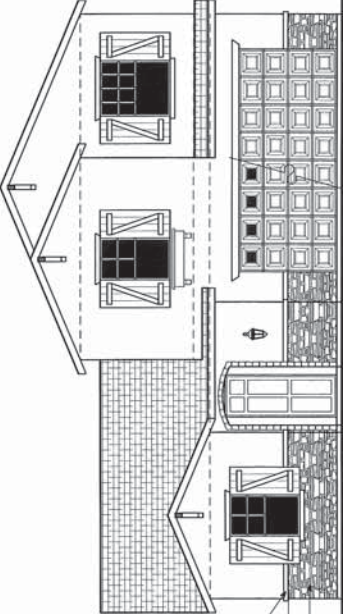
FRONT ELEVATION - A (STONE VENEER OPTION #1)
 FRONT ELEVATION - B (STONE VENEER OPTION #2)
 FRONT ELEVATION - C (STONE VENEER OPTION #3)
 (VENEER OPTIONS)
 EXTERIOR ELEVATIONS

DATE DRAWN: _____
 REVISIONS: _____
 DATE: P.L. CHECKS / _____
 DATE: 0000-00-00 / _____
 DATE: _____

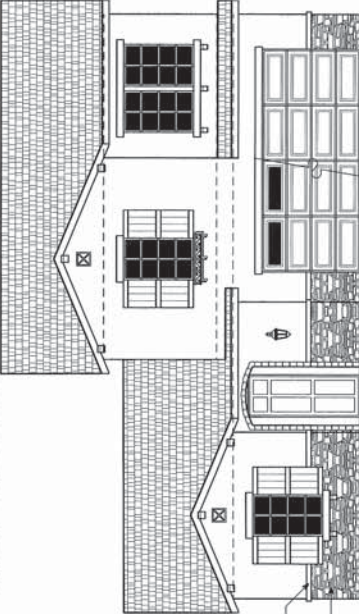
GENERAL NOTES:
MANUFACTURED VENEER NOTES:
 1. MANUFACTURED VENEER IS TO BE USED ON ALL EXTERIOR WALLS.
 2. STONECRAFT INDUSTRIES
 3. REPORT NO. ICR-1786
 4. INSTALLATION OF MANUFACTURED VENEER MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
 5. MANUFACTURED VENEER MUST BE ADHERED TO WITH A QUALITY ADHESIVE.
 6. AT ALL TIMES DURING INSTALLATION, THE UNDERLYING SURFACE MUST BE PROPERLY PREPARED AND COMBUSTIBLE MATERIALS MUST BE PROTECTED FROM DAMAGE BY BUILDING PAPER BEHIND THE VENEER.
 7. SEE SPECIFICATIONS.

RON POPE & ASSOCIATES
 468 W. KENOSHA AVE. CLOVIS, CA. 93919
 (559) 392-2708
 E-MAIL: ron.pope@ronpope.com

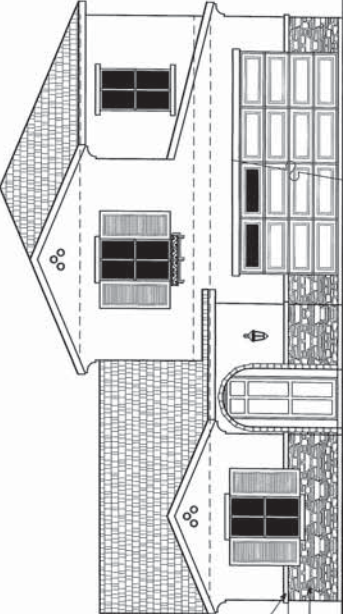
PLAN NO. 1786
 JOB NO. _____
 SHEET NO. _____
 SCALE: 1/4" = 1'-0"
 A-7



FRONT ELEVATION - A (STONE OPTION #2)

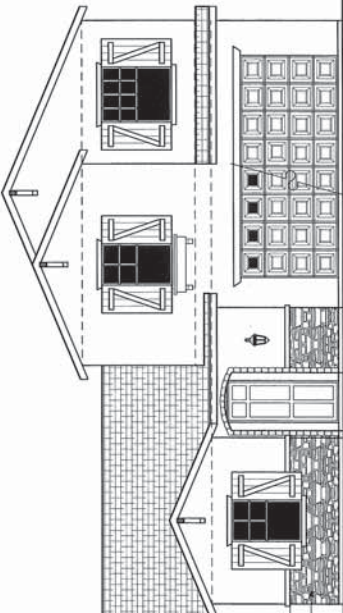


FRONT ELEVATION - B (STONE OPTION #2)



FRONT ELEVATION - C (STONE OPTION #2)

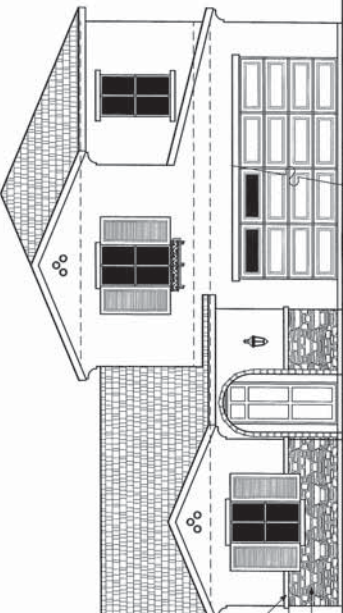
EXTERIOR ELEVATIONS



FRONT ELEVATION - A (STONE OPTION #1)



FRONT ELEVATION - B (STONE OPTION #1)



FRONT ELEVATION - C (STONE OPTION #1)

DATE DRAIN: 12/05
 REVISIONS: 2/05
 DATE: PLAN CHECKS: 1/05
 DATE: 1/05
 DATE: 1/05
 DATE: 1/05

GENERAL NOTES:

1. MAIN FLOOR COMPARTMENT SHALL BE 20' WIDE BY 20' DEEP.
2. MAIN FLOOR SHALL BE FINISHED WITH CERAMIC TILE.
3. MAIN FLOOR SHALL BE FINISHED WITH CERAMIC TILE.
4. MAIN FLOOR SHALL BE FINISHED WITH CERAMIC TILE.
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19. MAIN FLOOR SHALL BE FINISHED WITH CERAMIC TILE.
20. MAIN FLOOR SHALL BE FINISHED WITH CERAMIC TILE.

RON POPE & ASSOCIATES
 168 W. KENDASIA AVE. CLOVIS, CA 95318
 (531) 392-2700
 E-MAIL: ronpope@ronpope.com

PLAN NO. 1843
 JOB NO. JB 1843
 SHEET NO. A-2

CALIFORNIA GREEN BUILDING STANDARDS:
 REFER TO SHEET 1843.1 FOR THE MANUFACTURER'S REQUIREMENTS FOR MEETING THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

OPPSIM BOARD FINISHING SCHEDULE ON SHEET 1843.1
 SEE CRC TABLE R602.3(1) AT TABLE R602.3(2) FOR FINISHING SCHEDULE ON SHEET 1843.1

GLAZING:
 ALL GLAZING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

WATERLESS WATER HEATER REQUIREMENTS:
 ALL WATERLESS WATER HEATERS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

PLUMBING REQUIREMENTS:
 ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

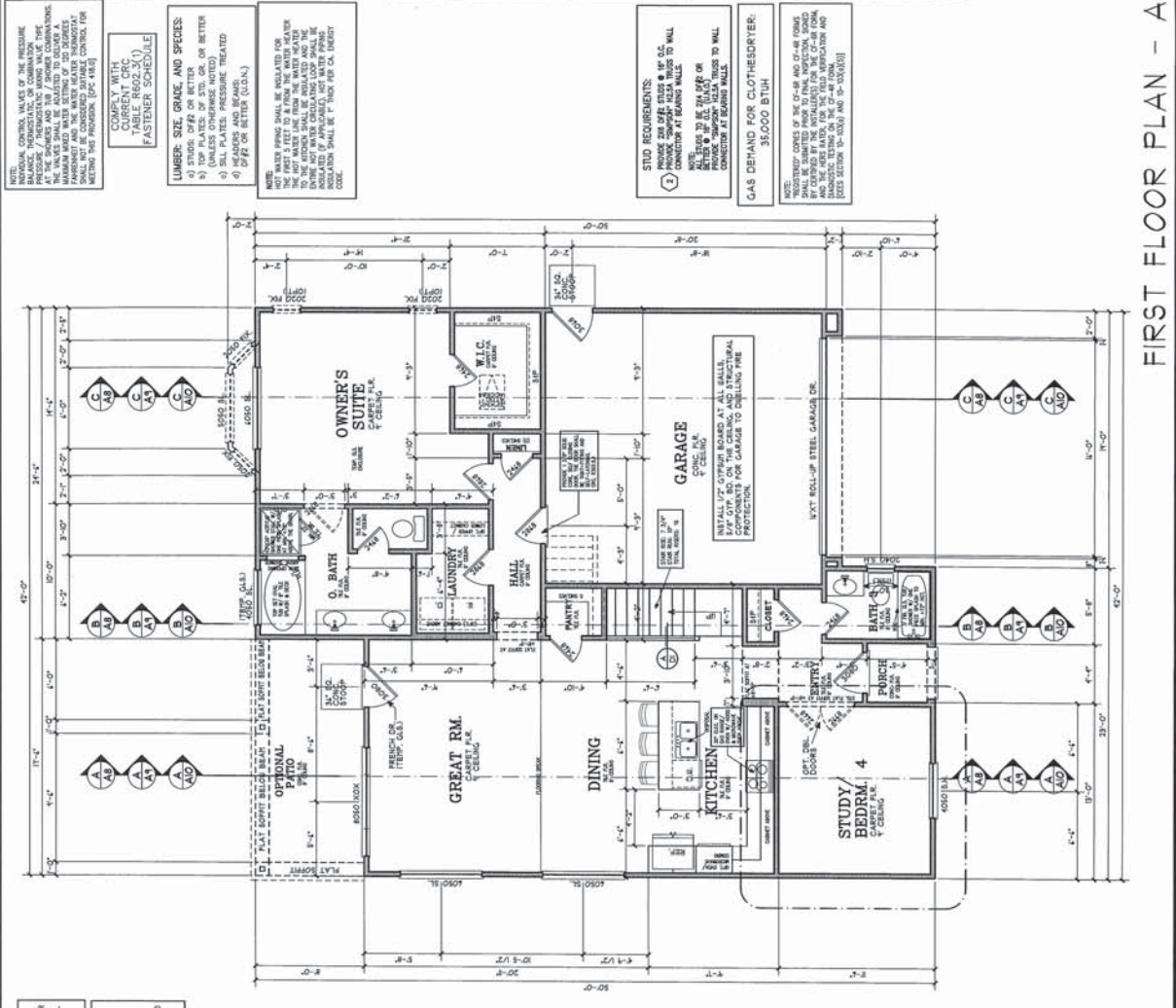
STUD REQUIREMENTS:
 ALL STUDS SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

GAS DEMAND FOR CLOTHEDPORTER:
 35,000 BTUH

VENTILATION FOR INDOOR AIR QUALITY:
 ALL VENTILATION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

FLOOR AREA

TOTAL LIVING AREA	1943 SQ.FT.
FIRST FLOOR	1597 SQ.FT.
SECOND FLOOR	418 SQ.FT.
GARAGE	450 SQ.FT.
PORCH	22 SQ.FT.
OPTIONAL BAY WINDOW	16 SQ.FT.
OPTIONAL COVERED PORCH	140 SQ.FT.



ENERGY COMPLIANCE

2x4 EXTERIOR WALLS	R-13	4x4 WOOD FLOOR	R-9
2x6 EXTERIOR WALLS	R-19	2x6 WOOD FLOOR	R-13
2x8 EXTERIOR WALLS	R-25	2x8 WOOD FLOOR	R-19
2x10 EXTERIOR WALLS	R-31	2x10 WOOD FLOOR	R-25
2x12 EXTERIOR WALLS	R-37	2x12 WOOD FLOOR	R-31
2x14 EXTERIOR WALLS	R-43	2x14 WOOD FLOOR	R-37
2x16 EXTERIOR WALLS	R-49	2x16 WOOD FLOOR	R-43
2x18 EXTERIOR WALLS	R-55	2x18 WOOD FLOOR	R-49
2x20 EXTERIOR WALLS	R-61	2x20 WOOD FLOOR	R-55
2x22 EXTERIOR WALLS	R-67	2x22 WOOD FLOOR	R-61
2x24 EXTERIOR WALLS	R-73	2x24 WOOD FLOOR	R-67
2x26 EXTERIOR WALLS	R-79	2x26 WOOD FLOOR	R-73
2x28 EXTERIOR WALLS	R-85	2x28 WOOD FLOOR	R-79
2x30 EXTERIOR WALLS	R-91	2x30 WOOD FLOOR	R-85
2x32 EXTERIOR WALLS	R-97	2x32 WOOD FLOOR	R-91
2x34 EXTERIOR WALLS	R-103	2x34 WOOD FLOOR	R-97
2x36 EXTERIOR WALLS	R-109	2x36 WOOD FLOOR	R-103
2x38 EXTERIOR WALLS	R-115	2x38 WOOD FLOOR	R-109
2x40 EXTERIOR WALLS	R-121	2x40 WOOD FLOOR	R-115
2x42 EXTERIOR WALLS	R-127	2x42 WOOD FLOOR	R-121
2x44 EXTERIOR WALLS	R-133	2x44 WOOD FLOOR	R-127
2x46 EXTERIOR WALLS	R-139	2x46 WOOD FLOOR	R-133
2x48 EXTERIOR WALLS	R-145	2x48 WOOD FLOOR	R-139
2x50 EXTERIOR WALLS	R-151	2x50 WOOD FLOOR	R-145
2x52 EXTERIOR WALLS	R-157	2x52 WOOD FLOOR	R-151
2x54 EXTERIOR WALLS	R-163	2x54 WOOD FLOOR	R-157
2x56 EXTERIOR WALLS	R-169	2x56 WOOD FLOOR	R-163
2x58 EXTERIOR WALLS	R-175	2x58 WOOD FLOOR	R-169
2x60 EXTERIOR WALLS	R-181	2x60 WOOD FLOOR	R-175
2x62 EXTERIOR WALLS	R-187	2x62 WOOD FLOOR	R-181
2x64 EXTERIOR WALLS	R-193	2x64 WOOD FLOOR	R-187
2x66 EXTERIOR WALLS	R-199	2x66 WOOD FLOOR	R-193
2x68 EXTERIOR WALLS	R-205	2x68 WOOD FLOOR	R-199
2x70 EXTERIOR WALLS	R-211	2x70 WOOD FLOOR	R-205
2x72 EXTERIOR WALLS	R-217	2x72 WOOD FLOOR	R-211
2x74 EXTERIOR WALLS	R-223	2x74 WOOD FLOOR	R-217
2x76 EXTERIOR WALLS	R-229	2x76 WOOD FLOOR	R-223
2x78 EXTERIOR WALLS	R-235	2x78 WOOD FLOOR	R-229
2x80 EXTERIOR WALLS	R-241	2x80 WOOD FLOOR	R-235
2x82 EXTERIOR WALLS	R-247	2x82 WOOD FLOOR	R-241
2x84 EXTERIOR WALLS	R-253	2x84 WOOD FLOOR	R-247
2x86 EXTERIOR WALLS	R-259	2x86 WOOD FLOOR	R-253
2x88 EXTERIOR WALLS	R-265	2x88 WOOD FLOOR	R-259
2x90 EXTERIOR WALLS	R-271	2x90 WOOD FLOOR	R-265
2x92 EXTERIOR WALLS	R-277	2x92 WOOD FLOOR	R-271
2x94 EXTERIOR WALLS	R-283	2x94 WOOD FLOOR	R-277
2x96 EXTERIOR WALLS	R-289	2x96 WOOD FLOOR	R-283
2x98 EXTERIOR WALLS	R-295	2x98 WOOD FLOOR	R-289
2x100 EXTERIOR WALLS	R-301	2x100 WOOD FLOOR	R-295

MEET REQUIREMENTS FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

OPTIONAL BEDRM. 4

4000 BAY WINDOW
 10'-0" x 10'-0"

MEET REQUIREMENTS FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.1 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.2 FOR THE CALIFORNIA GREEN BUILDING STANDARDS. REFER TO SHEET 1843.3 FOR THE CALIFORNIA GREEN BUILDING STANDARDS.

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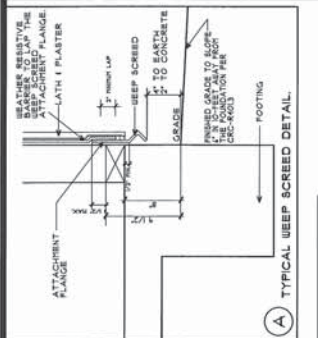
FIRST FLOOR PLAN - A

DATE DRAWN: 8-2015
 DESIGNER: JUNE 1990
 DATE CHECKED: 1-2020
 DATE: 10-2020

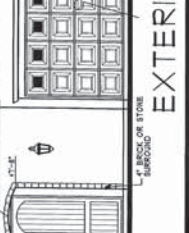
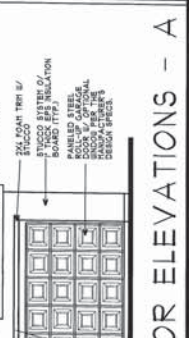
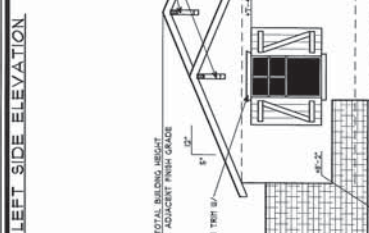
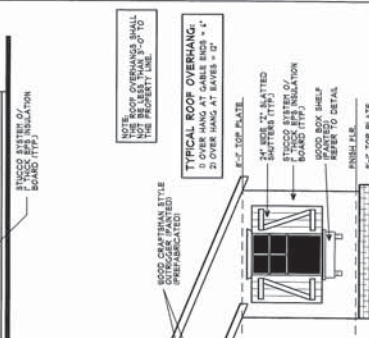
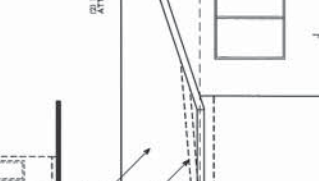
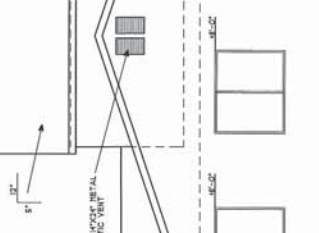
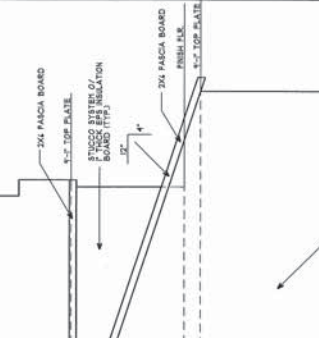
- GENERAL NOTES:**
1. ROOF OVERHANG SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT CODE.
 2. PROVIDE TWO LAYERS OF TYPE "X" UNDERLAMENT AT ROOF BREAKING. THE STUCCO IS APPLIED OVER FACIA BOARD.
 3. NO LEAK TESTS ARE ALLOWED WHEN SHEAR TRANSFER JOINTS ARE USED.
 4. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS.
 5. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS.
 6. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS.
 7. MET FLASHING SHALL BE 24 GAUGE "G" METAL AND SHALL BE APPLIED OVER FACIA BOARD.
 8. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS.
 9. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS. PROVIDE FLASHING AND COVER FLASHING AT ALL ROOF PENETRATIONS.
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RON POPE ASSOCIATES
 188 W. REDWOOD AVE. CLAYTON, CA 94516
 P: (925) 392-2708
 E: ron@ronpope.com

PLAN NO. 1843 JOB NO. JB-1843
 SHEET NO. A-4
 SCALE: 1/4" = 1'-0"



- RADIANT BARRIER ROOF SHEATHING:**
1. MANUFACTURER'S APPROVAL (MFR APPROVAL) IS REQUIRED FOR ALL MANUFACTURED PRODUCTS.
 2. MANUFACTURER'S APPROVAL (MFR APPROVAL) IS REQUIRED FOR ALL MANUFACTURED PRODUCTS.
 3. MANUFACTURER'S APPROVAL (MFR APPROVAL) IS REQUIRED FOR ALL MANUFACTURED PRODUCTS.
 4. MANUFACTURER'S APPROVAL (MFR APPROVAL) IS REQUIRED FOR ALL MANUFACTURED PRODUCTS.
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 20. MANUFACTURER'S APPROVAL (MFR APPROVAL) IS REQUIRED FOR ALL MANUFACTURED PRODUCTS.



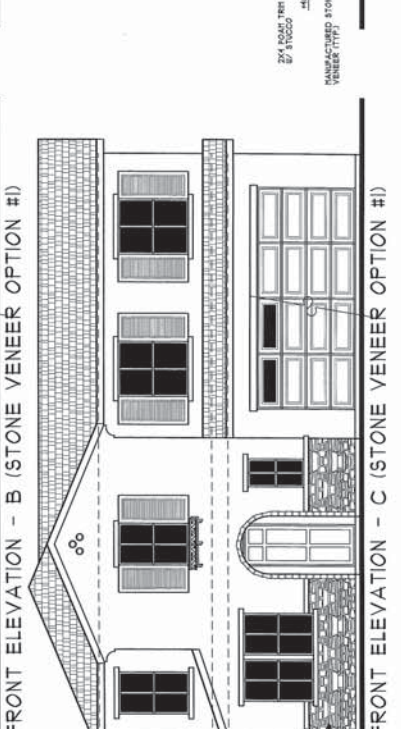
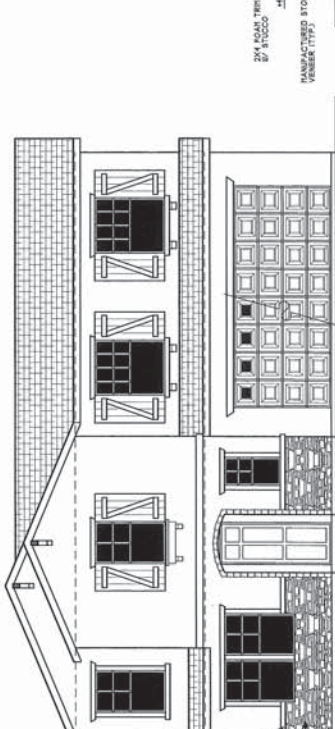
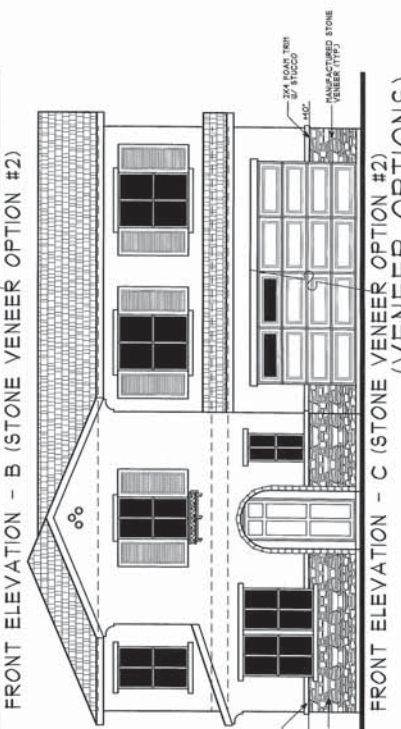
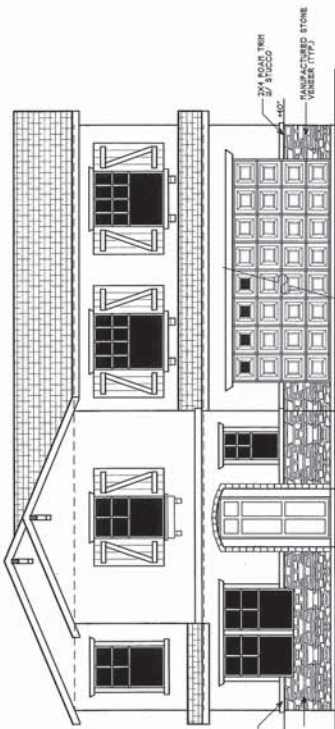
EXTERIOR ELEVATIONS - A

DATE DRAWN: B-2015
 REVISION CHECK: [Symbol]
 DATE: 4-25-15
 DATE: 8-25-15
 DATE: [Symbol]

- GENERAL NOTES:**
1. MANUFACTURED VENEER NOTES:
 MANUFACTURED VENEER (MVF)
 STUCCO
 STUCCO
 STUCCO
 2. PRECAST CONCRETE, BRICK AND STONE VENEER.
 3. REPORT NO. EBR-115
 4. MUST COMPLY WITH THE ABOVE NOTED REPORT, THE MANUFACTURER'S INSTRUCTIONS AND THE APPLICABLE CODES. THE MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS MUST BE AVAILABLE AT THE TIME OF CONSTRUCTION. THE MANUFACTURER'S INSTRUCTIONS MAY BE APPLIED OVER BRICKWORK OF GREAT FLAKES.
 5. PROVIDE 2-LAYERS OF BUILDING PAPER BOUND THE UNDER PER [OR 1031.3].

RON POPE & ASSOCIATES
 408 W. KENNESAW AVE. SUITE 105, CA. 93818
 (530) 327-2708
 E-MAIL: ronpope@1017.com

PLAN NO. 1940
 JOB NO. J1940
 DRAWN BY: RON POPE
 SHEET NO. A-7
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION - A (STONE VENEER OPTION #2)
 FRONT ELEVATION - B (STONE VENEER OPTION #2)
 FRONT ELEVATION - C (STONE VENEER OPTION #2)
 (VENEER OPTIONS)
 EXTERIOR ELEVATIONS



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Staff Report

To: Lemoore Planning Commission Item No. 9
From: Steve Brandt, City Planner
Date: February 7, 2017 **Meeting Date:** February 13, 2017
Subject: **Major Site Plan Review No. 2017-03:** a request by Pacific Gas & Electric Company (Teter, LLP, architect) for site and exterior building design revisions to an approved site plan for a new Lemoore Service Center for Pacific Gas & Electric Company on 11.59 acres. The site is located at the southwest corner of Enterprise Drive and Commerce Way in the City of Lemoore (APN 024-051-027.)

Proposed Motion:

Move to adopt Resolution No. 2017-04, approving Major Site Plan No. 2017-03 for site and exterior building design revisions to an approved site plan for the new Lemoore Service Center for Pacific Gas & Electric Company, with the attached conditions.

Project Proposal:

Following the Planning Commission's August 2016 approval of the PG&E parcel map, site plan, and building elevations, PG&E has made changes to the main building's architectural elevations, reduced the size of the building, and relocated the front fence. These changes are being brought to the Planning Commission for acceptance.

Applicant	Teter, LP
Location	Southwest corner of Enterprise Drive and Commerce Way
Existing Land Use	Vacant land
APN(s)	024-051-027
Total Building Size	12,500 sq.ft. office and warehouse, with future 490 sq.ft. expansion and future 6,000 sq.ft. fleet maintenance building
Lot Size	11.59 acres
Zoning	Light Industrial (ML)

General Plan

Light Industrial

Adjacent Land Use, Zone and General Plan Designation

Direction	Current Use	Zone	General Plan
North	Industrial buildings	ML	Light Industrial
South	Vacant land	ML	Light Industrial
East	Industrial buildings (OLAM)	ML	Light Industrial
West	Vacant land	ML	Light Industrial

Previous Relevant Actions:

On August 8, 2016, the Planning Commission approved Parcel Map No. 2016-01 and Major Site Plan Review No. 2016-01, which created the 11.59-acre parcel and approved the site plan and main building elevations. Since that time, PG&E has purchased the 11.59-acre site.

Zoning/General Plan

The project is consistent with the General Plan and Zoning Ordinance. The service center is an allowed use in the ML Zone.

Changes to the Site Plan:

There are two changes to the site plan that was approved by the Planning Commission last August. The first is that the front parking area will not be gated. Only the areas behind the main building will be protected with gates. Wrought iron fencing will still be located between the front parking area and the main building. (It is not shown in the current elevation plans, but the applicant confirmed it will still be constructed there.)

The second change is that two areas in the storage yard in the southwest and southeast portions of the site will not be paved in the first phase of construction. Until they are paved in the future, these areas are proposed to have gravel surface and will only be used for parking of vehicles from other districts during a large power outage or during a construction project.

Staff supports the changes to the front gates. Regarding the unpaved areas, Staff a condition that the areas be paved with materials that would provide better dust control than just gravel in the first phase, and that they be paved with asphalt or concrete when they are used for anything more than intermittent parking of vehicles. The actual material in the first

phase can be proposed by the applicant and would be approved by Staff through the building permit.

Changes to the Main Building Architecture:

There are changes to the main building as well. The roughly 100-sq.ft. meeting room that extended from the west wall of the building has been removed. It was deemed unnecessary to PG&E's needs. Also, the architectural treatments around the doors and windows have been revised. The main exterior of the building will have cream pre-colored stucco-embossed insulated metal panels. The main entry will use the same panels and will be painted burnt orange at the site. Treatments around the windows will be blue 4" corrugated metal panels on the walls and burnt orange metal shades over the windows. The roof overhang remains at about 2 feet. The attached exhibits show the currently proposed elevation plans along with the plans that were approved in August 2016.

Staff reviewed the new plans against the City's design standards for industrial buildings, which is found in Section 9-5C-5 of the Zoning Ordinance. Staff believes that the new proposed architectural design and treatments are less preferable to the previously approved plans. However, Staff believes that the new proposed designs meet the City's design standards for industrial buildings, and therefore recommends that the Planning Commission accept this new design.

Environmental Assessment:

The project has been determined to be statutorily exempt from CEQA because Major Plan Review is not a discretionary action.

Recommended Approval Findings:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Recommended Conditions to Implement Zoning Ordinance Standards:

1. The site shall be developed consistent with applicable development standards found in the Zoning Ordinance and City Municipal Code.

2. The site and buildings be developed consistent with the attached site plan and elevation plans, except as modified by these conditions.

3. Areas in the maintenance yard that will not be paved with asphalt or concrete in the initial phase shall be paved with materials that would provide better dust control than just gravel. The actual materials used in the initial phase can be proposed by the applicant and would be approved by Staff through the approval of the site improvement plans. The areas shall be paved with asphalt or concrete when used for anything more than intermittent parking of vehicles.

4. All conditions of Site Plan No. 2016-01 not specifically modified by this approval shall remain in effect.

Attachments:

Vicinity Map

Draft Resolution

Site Plan

Elevation Plans

Original Elevation Plans approved August 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Vicinity Map
Major Site Plan Review 2017-03

RESOLUTION NO. 2017-04

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE
APPROVING MAJOR SITE PLAN REVIEW NO. 2017-03
FOR SITE AND EXTERIOR BUILDING DESIGN REVISIONS TO AN APPROVED SITE PLAN
FOR A NEW SERVICE CENTER FOR PACIFIC GAS AND ELECTRIC COMPANY
LOCATED AT THE SOUTHWEST CORNER OF ENTERPRISE DRIVE AND COMMERCE WAY
IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on February 13, 2017, at 7:00 p.m. on said day, it was moved by Commissioner _____, seconded by Commissioner _____ and carried that the following Resolution be adopted:

WHEREAS, Teter, LP has requested a major site plan review for approval of revisions to an approved site plan for a new Service Center for Pacific Gas and Electric Company, located at the southwest corner of Enterprise Drive and Commerce Way (APN 024-051-027); and

WHEREAS, Major Site Plan Review No. 2016-01 had previously been approved for the project; and

WHEREAS, the applicant is requesting changes to the main building size and architectural elevations, and to the location of the front fence; and

WHEREAS, the project is statutorily exempt from the California Environmental Quality Act (CEQA) because the approval is a non-discretionary action; and

WHEREAS, the Lemoore Planning Commission held a duly noticed public hearing at its February 13, 2017, meeting.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed major site plan review:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

BE IT FURTHER RESOLVED that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2017-03, subject to the following conditions:

1. The site shall be developed consistent with applicable development standards found in the Zoning Ordinance and City Municipal Code.

2. The site and buildings be developed consistent with the attached site plan and elevation plans, except as modified by these conditions.
3. Areas in the maintenance yard that will not be paved with asphalt or concrete in the initial phase shall be paved with materials that would provide better dust control than just gravel. The actual materials used in the initial phase can be proposed by the applicant and would be approved by Staff through the approval of the site improvement plans. The areas shall be paved with asphalt or concrete when used for anything more than intermittent parking of vehicles.
4. All conditions of Site Plan No. 2016-01 not specifically modified by this approval shall remain in effect.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on February 13, 2017, by the following votes:

AYES:
NOES:
ABSTAINING:
ABSENT:

APPROVED:

Ron Meade, Chairperson

ATTEST:

Commission Secretary, Kristie Baley



PG&E LEMOORE SERVICE CENTER
Operations & Warehouse Building (North Entry)





PG&E LEMOORE SERVICE CENTER
Operations & Warehouse Building (South & West)





PG&E LEMOORE SERVICE CENTER
Operations & Warehouse Building (North & West)





PG&E LEMOORE SERVICE CENTER
Operations & Warehouse Building (Entry Facing West)





SOUTH ELEVATION 1/8"=1'-0"

← CANOPY IN FRONT →



WEST ELEVATION 1/8"=1'-0"



NEW SERVICE CENTER | FRONT VIEW
PG&E Lemoore





NEW SERVICE CENTER | REAR VIEW
PG&E Lemoore

