

**LEMOORE PLANNING COMMISSION**  
**Regular Meeting**  
**AGENDA**  
**Lemoore Council Chambers**  
**429 'C' Street**

**January 9, 2017**  
**7:00 p.m.**

1. Pledge of Allegiance and Roll Call
2. Reorganization of Commissioners – Election of Officers – Chair and Vice Chair
3. Public Comments and Inquiries  
*If you wish to comment on an item, which is not on the agenda, you may do so under "Public Comment." In order to allow time for all public comments, each individual's comments are limited to five minutes. When addressing the Commission, you are requested to come forward to the speaker's microphone, state your name and address, and then proceed with your presentation.*
4. Approval – Minutes – Regular Meeting, October 10, 2016
5. Public Hearing – Major Site Plan Review No. 2016-02: A request by developer D.R. Horton for approval of new single-family home master plans (floor plans and elevation plans) to be constructed in conjunction with the approved Parkview Estates Subdivision Tract 797 Phases I and II, located on the southwest corner of Hanford-Armona Road and Opal Avenue. APNs 021-260-004, 021-260-006 through 021-260-022, and 021-260-024 through 021-260-043 – Steve Brandt, City Planner  

It has been determined that this Major Site Plan Review is a non-discretionary action and therefore, statutorily exempt from California Environmental Quality Act (CEQA) requirements. [Reference: State CEQA Guidelines Section 15268, Ministerial Exemption.
6. Public Hearing – Zoning Text Amendment No. 2016-03: Amendments to portions of the Lemoore Municipal Code related to Zoning and Subdivisions; Article A of Chapter 4 of Title 9 (Land Use Definitions; Article B of Chapter 4 of Title 9 (Allowed Uses and Required Entitlements); Article D of Chapter 4 of Title 9 (Accessory Dwelling Units, Manufactured Homes, and Shopping Carts); Article E of Chapter 5 of Title 9 (Standards for Off Street Parking); Article F of Chapter 5 of Title 9 (Standards for Permanent On Site Signs and Flags); Chapter 10 of Title 7 (Public Facilities Maintenance Districts and Homeowner's Associations); and Article C of Chapter 5 of Title 9 (Design Standards for Big Box Stores, Discount Clubs, and Discount Superstores) – Steve Brandt, City Planner  

This project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]
7. Discussion – Welcome to Lemoore Signs – Steve Brandt, City Planner
8. Director's Report – David James, Interim Development Services Director
9. Commission's Report and Request for Information

Adjournment

**Tentative Future Items**

February 13, 2017  
None

Notice of ADA Compliance: If you or anyone in your party needs reasonable accommodation to attend, or participate in, any Planning Commission Meeting, please make arrangements by contacting City Hall at least 24 hours prior to the meeting. They can be reached by calling 924-6700, or by mail at 119 Fox Street, Lemoore, CA 93245.

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection at the Development Services Department located at 711 W. Cinnamon Drive, Lemoore, CA during normal business hours. In addition, most documents will be posted on the City's website at [www.lemoore.com](http://www.lemoore.com).

#### CERTIFICATION OF POSTING

I, Kristie Baley, Planning Commission Secretary, do hereby declare that the foregoing Agenda for the Lemoore Planning Commission Regular Meeting of Monday, January 9, 2017 at 7:00 p.m. was posted on the outside bulletin board located at City Hall, 119 Fox Street in accordance with applicable legal requirements. Dated this 5<sup>th</sup> day of January, 2017.

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Kristie Baley, Commission Secretary

Minutes of the  
LEMOORE PLANNING COMMISSION  
October 10, 2016

**MEETING CALLED TO ORDER:**

At 7:02 p.m. the meeting was called to order.

**ATTENDANCE:**

Chairman Meade, Commissioners Badasci, Clement, Dow, Koelewyn, Marvin, Monreal; City Planner Brandt, Development Services Director Holwell, City Attorney Linden; Planning Commission Secretary Baley

**PUBLIC COMMENT:**

There was no comment.

**APPROVAL – MINUTES – REGULAR MEETING August 8, 2016:**

It was moved by Commissioner Koelewyn and seconded by Commissioner Badasci to approve the Minutes of the Planning Commission Regular Meeting of August 8, 2016.

Ayes: Koelewyn, Badasci, Clement, Dow, Meade

Abstain: Marvin, Monreal

**PUBLIC HEARING – ZONING TEXT AMENDMENT NO. 2016-02: AMENDMENT TO SECTIONS 9-4A-5 AND 9-4B-2 IN THE EVENT PROPOSITION 64 IS PASSED DURING THE GENERAL ELECTION ON NOVEMBER 8, 2016 OF THE CURRNET ZONING ORDINANCE (MUNICIPAL CODE TITLE 9) PERTAINING TO CULTIVATION AND USE OF MARIJUANA.**

Chairman Meade opened the public hearing at 7:06 p.m.

Development Services Director Holwell presented the Text Amendment.

Chairman Meade closed the public hearing at 7:17 p.m.

Regulations regarding the transporting of marijuana were discussed.

Chairman Meade opened Public Comment period.

There was no comment from the public.

It was moved by Commissioner Clement and seconded by Commissioner Dow to approve Resolution No. 2016-08, A Resolution of the Planning Commission recommending approval of Zone Text Amendment No. 2016-02.

Ayes: Clement, Dow, Badasci, Koelewyn, Monreal, Marvin, Meade

DEVELOPMENT SERVICES DIRECTORS' REPORT:

Holwell provided municipal code information regarding approval authority for planning projects.

Holwell informed Commissioners that the City entered into an agreement with Cal Poly to assist with the General Plan Update. She notified Commissioners of upcoming community meetings regarding the General Plan Update to be held November 1, 2017 and November 29, 2017 from 5:30 p.m. to 7:30 p.m. Holwell stated the meetings were open to the public and invited Commissioners to Attend. Holwell answered questions regarding the agreement and scope of work.

Holwell provided an update regarding the west Bush Street and State Route 41 diverging diamond project. She stated that the project study is expected to be complete in March or April of 2017.

COMMISSIONER REPORTS AND REQUESTS FOR INFORMATION:

There were none.

ADJOURNMENT:

At 7:31 p.m. the meeting adjourned.

Approved the 9<sup>th</sup> day of January, 2017.

Full digital audio recording is available.

Attest:

\_\_\_\_\_  
, Chairman

\_\_\_\_\_  
Kristie Baley, Commission Secretary



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

## Staff Report

**To:** Lemoore Planning Commission **Item No. 5**  
**From:** Steve Brandt, City Planner  
**Date:** December 23, 2016 **Meeting Date:** January 9, 2017  
**Subject:** **Major Site Plan Review No. 2016-02:** a request by D.R. Horton for approval of new single-family home master plans (floor plans and elevation plans) to be constructed in conjunction with the approved Parkview Estates Subdivision Tract 797 Phase I and II, located on the southwest corner of Hanford-Armona Road and Opal Avenue.

### **Proposed Motion:**

Planning Commission, by motion, adopt Resolution No. 2017-01, approving Major Site Plan Review No. 2016-02, a request by developer D.R. Horton for approval of new single family home master floor plans and elevations for the Parkview Estates Subdivision, Tract 797 Phase I and II, located on the southwest corner of Hanford-Armona Road and Opal Avenue, subject to the attached conditions.

### **Project Proposal:**

This project is requesting approval of the single-family home master plans (floor plans and elevations) for the Parkview Estates Subdivision, Tract 797, Phase I and II. D.R. Horton is in the process of acquiring both Phases, with the intention of building the homes proposed herein. Tentative Subdivision Map No. 2003-03 (Tract 797) was approved by City Council on October 7, 2003 and is still active, therefore; this Planning Commission action is limited to review of the home plans for consistency with the single-family home architectural design standards that are in the Zoning Ordinance.

<b>Applicant</b>	D.R. Horton
<b>Location</b>	Southwest corner of Hanford-Armona Road and Opal Avenue
<b>Existing Land Use</b>	Vacant land; the two existing homes are excluded from the proposal
<b>APN(s)</b>	021-260-004, 021-260-006 through 021-260-022, and 021-260-024 through 021-260-043
<b>Total Building Size</b>	Floor plans range from 1,695 sq.ft. to 2,819 sq.ft.

<b>Lot Size</b>	Existing lots range from 5,850 sq.ft. to 6,300 sq.ft.
<b>Zoning</b>	Low Density Residential (RLD)
<b>General Plan</b>	Low Density Single-Family Residential

**Adjacent Land Use, Zone, and General Plan Designation**

<u>Direction</u>	<u>Current Use</u>	<u>Zone</u>	<u>General Plan</u>
North	Multi-Family Homes (Park Place Apartments)	RMD	Medium Density Multi-Family Residential
South	School (Cinnamon Elementary School)	CF	Community Facilities
East	Park (Heritage Park)	PR	Parks/Recreation
West	Multi-Family Homes (Tanglewood Apartments)	RHD & RLD	High Density Residential & Low Density Single-Family Residential

**Previous Relevant Actions:**

Tentative Map 2003-03 for the Parkview Estates Subdivision was approved by City Council per Resolution No. 2003-38 on October 7, 2003. The final map for Phase I has been recorded, infrastructure has been constructed, and two homes have been built, however; the developer sold the two homes which are currently occupied, and abandoned the project, leaving all lots but two in Phase I as finished lots, and Phase II without a final map and corresponding infrastructure.

**Residential Design Standards:**

The architecture of the home plans is depicted in the attached floor plans and elevation plans. Five floor plans were submitted having square footages of 1,695; 1,816; 2,080; 2,544; and 2,819 square feet. The three smallest homes are single-story homes, while the two largest are two-story homes. All the homes will have their garages set back behind first-floor living space and/or a front porch. All homes will have concrete tile roofs.

Plan No's. 1.1695 and 2.1816 each have three bedrooms and two bathrooms on a single story footprint; Plan No. 3.2080 has four bedrooms and three bathrooms on a single story footprint; Plan No. 4.2544 has four bedrooms and three bathrooms on a two story footprint; and Plan No. 5.2819 has five bedrooms and three bathrooms on a two story footprint. Each Plan is available in three front façade styles (Regency, Craftsman, and Cottage,) which results in fifteen possible front facades in the neighborhood. The facades styles are differentiated by changes to roof pitch in the front of the home and in front façade detailing.

Staff reviewed the floor plans and elevations for conformance with Lemoore's Zoning Ordinance Section 9-5C-3 (Design Standards for Residential Projects.) In all, a total of

fifteen possible different front elevation “looks” would be available to meet the City’s “six pack” rule. However, while the floor plans of Plan No. 2.1816 Elevation C (Craftsman) and Plan No. 1.1695 Elevation C (Craftsman) are different; it is Staff’s opinion that they would look very similar from the street perspective. Therefore, in order to meet the intent of the “six-pack” rule and avoid redundancy, Staff is recommending there be added a requirement that when these two elevation plans are within the same “six-pack” area they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.

Staff also added the standard requirement that the detailing placed on the front of the house be wrapped around to the side of house on the street side of corner lots. All other requirements for new master plan home designs are being met, including the requirement that 50% of the home plans have garages that are flush or behind the living space.

Below are photos of two of the single-story plans under construction at a D.R. Horton neighborhood in Tulare.



**Environmental Assessment:**

The project has been determined to be statutorily exempt from CEQA because Major Plan Review is not a discretionary action.

### **Recommended Approval Findings:**

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the City.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

### **Recommended Conditions to Implement Zoning Ordinance Standards:**

1. The site shall be developed consistent with the approved tentative map and applicable development standards found in the Zoning Ordinance and City Municipal Code.
2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.
3. If Plan 2.1816C (Craftsman) and Plan 1.1695C (Craftsman) are placed on adjacent lots, as defined by Section 9-5C-3B.2.a of the Zoning Ordinance, they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.
4. For homes placed on corner lots, the architectural embellishments/features such as stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.

### **Attachments:**

Vicinity Map

Draft Resolution

Approved Tentative Map

Floor and Elevation Plans





Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Vicinity Map

**RESOLUTION NO. 2017-01**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
APPROVING MAJOR SITE PLAN REVIEW NO. 2016-02  
FOR NEW SINGLE-FAMILY HOME MASTER PLANS (FLOOR PLANS AND ELEVATIONS)  
FOR THE PARKVIEW ESTATES SUBDIVISION TRACT 797 PHASE I AND II  
LOCATED ON THE SOUTHWEST CORNER OF HANFOR-ARMONA ROAD AND OPAL AVENUE,  
IN THE CITY OF LEMOORE**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on January 9, 2017, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_ and carried that the following Resolution be adopted:

**WHEREAS**, D.R. Horton has requested a major site plan review for approval of new single-family home master plans (floor plans and elevations) for the Parkview Estates Subdivision Tract 797 located on the southwest corner of Hanford-Armona Road and Opal Avenue, in the City of Lemoore (APNs 021-260-004, 021-260-006 through 021-260-022, and 021-260-024 through 021-260-043); and

**WHEREAS**, the Heritage Park Subdivision is an approved tentative subdivision map where Phase I has been finalized and Phase II has not been finalized; and

**WHEREAS**, the project is statutorily exempt from the California Environmental Quality Act (CEQA) because the approval is a non-discretionary action; and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at its January 9, 2017, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed major site plan review:

1. The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, specific plan provisions, and improvement standards adopted by the city.
2. The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.
3. The architecture, character, and scale of the building and the site are compatible with the character of buildings on adjoining and nearby properties.
4. The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore approves Major Site Plan Review No. 2016-02, subject to the following conditions:

1. The site shall be developed consistent with approved Tentative Map No. 2003-03 and applicable development standards found in the Zoning Ordinance and City Municipal Code.

2. The homes shall be developed consistent with the attached floor and elevation plans, except as modified by these conditions.
3. If Plan 2.1816 Elevation C (Craftsman) and Plan 1.1695 Elevation C (Craftsman) are placed on adjacent lots, as defined by Section 9-5C-3B.2.a of the Zoning Ordinance, they shall be of a different color, have a different front door or window style or color, have a different carriage light style, and have a different garage door window style.
4. For homes placed on corner lots, the stone/brick veneer placed on the front of the homes shall be wrapped around the street side of the home up to the fence, and stucco/foam window treatments used on the front of the home shall also be used on the street side of the home where windows are visible from the street.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on January 9, 2017, by the following votes:

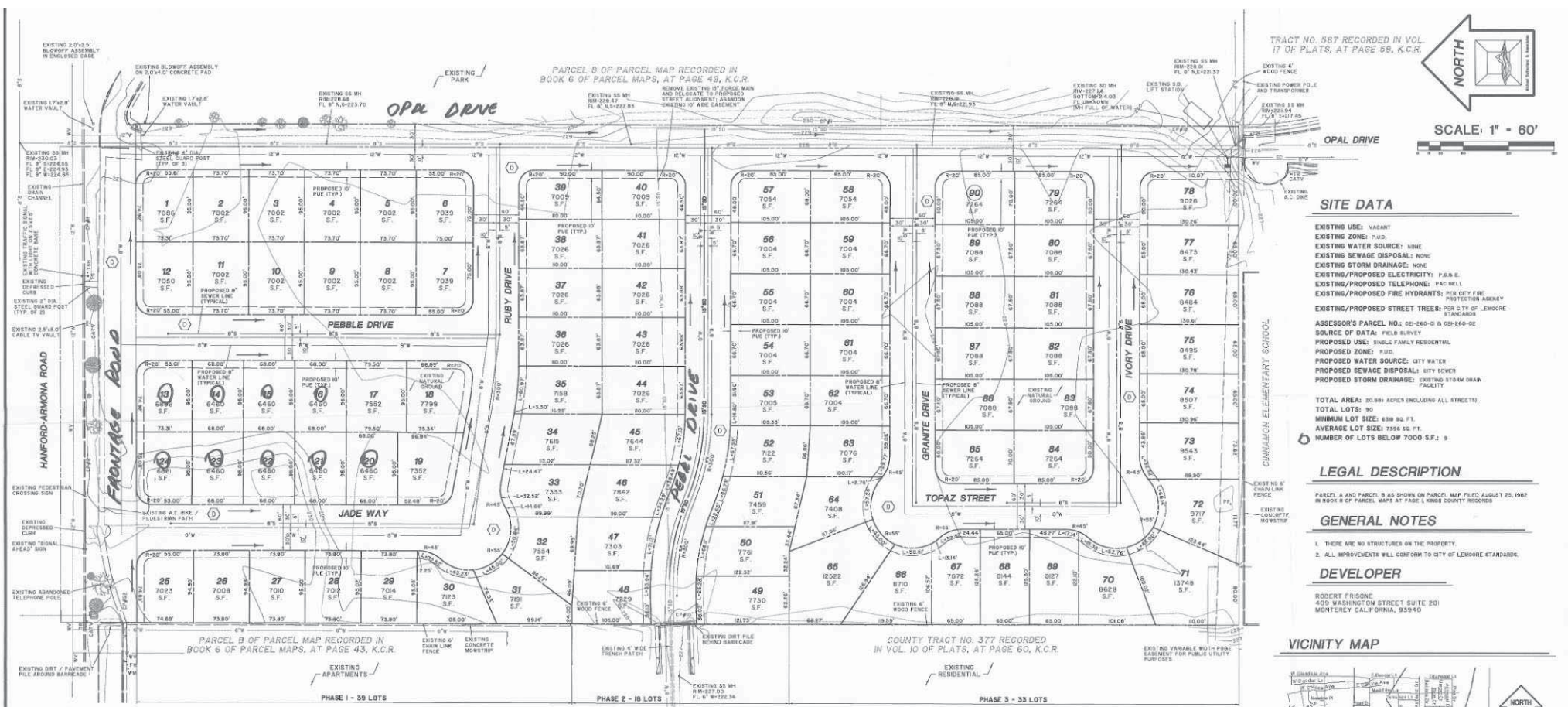
**AYES:**  
**NOES:**  
**ABSTAINING:**  
**ABSENT:**

**APPROVED:**

\_\_\_\_\_  
**, Chairperson**

**ATTEST:**

\_\_\_\_\_  
**Kristie Baley, Commission Secretary**



SCALE: 1" = 60'

**SITE DATA**

EXISTING USE: VACANT  
 EXISTING ZONE: P.U.D.  
 EXISTING WATER SOURCE: NONE  
 EXISTING SEWAGE DISPOSAL: NONE  
 EXISTING STORM DRAINAGE: NONE  
 EXISTING/PROPOSED ELECTRICITY: P.A.B.E.  
 EXISTING/PROPOSED TELEPHONE: PAC BELL  
 EXISTING/PROPOSED FIRE HYDRANTS: PER CITY FIRE PROTECTION AGENCY  
 EXISTING/PROPOSED STREET TREES: PER CITY OF LEMORE  
 ASSESSOR'S PARCEL NO.: 02-260-01 & 02-260-02  
 SOURCE OF DATA: FIELD SURVEY  
 PROPOSED USE: SINGLE FAMILY RESIDENTIAL  
 PROPOSED ZONE: P.U.D.  
 PROPOSED WATER SOURCE: CITY WATER  
 PROPOSED SEWAGE DISPOSAL: CITY SEWER  
 PROPOSED STORM DRAINAGE: EXISTING STORM DRAIN FACILITY  
 TOTAL AREA: 20.88 ACRES INCLUDING ALL STREETS  
 TOTAL LOTS: 90  
 MINIMUM LOT SIZE: 638 SQ. FT.  
 AVERAGE LOT SIZE: 736 SQ. FT.  
 NUMBER OF LOTS BELOW 7000 S.F.: 9

**LEGAL DESCRIPTION**

PARCELS A AND PARCELS B AS SHOWN ON PARCEL MAP FILED AUGUST 25, 1982 IN BOOK 6 OF PARCEL MAPS AT PAGE 1, HUMBOLDT COUNTY RECORDS

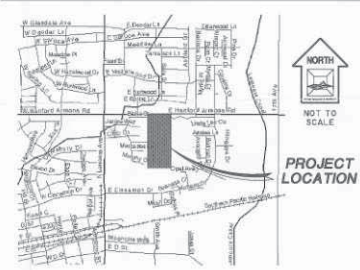
**GENERAL NOTES**

1. THERE ARE NO STRUCTURES ON THE PROPERTY.
2. ALL IMPROVEMENTS WILL CONFORM TO CITY OF LEMORE STANDARDS.

**DEVELOPER**

ROBERT FRISONE  
 409 WASHINGTON STREET (SUITE 20)  
 MONTREY, CALIFORNIA, 93940

**VICINITY MAP**



**MAP OF VESTING TENTATIVE TRACT NO. 797**  
 APN 021-260-01 & 021-260-02  
 LEMORE, CA

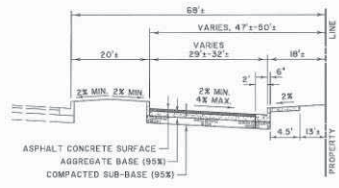
**LEGEND / ABBREVIATIONS**

- EXIST. PROPERTY LINE
  - EXISTING OVERHEAD UTILITY LINE
  - EXISTING CURB, BUTTER, AND/OR SIDEWALK
  - EDGE OF EXIST. PAVEMENT
  - EXISTING CHAIN LINK FENCE
  - EXISTING WOOD FENCE
  - EXISTING SIGN
  - EXISTING STREET LIGHT
  - EXISTING FIRE HYDRANT
  - EXISTING TIMBER BARRICADE
  - EXISTING UNDERGROUND UTILITY LINE, FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION
  - EXISTING TREE
  - PROPOSED PROPERTY LINE
- INDICATES AREA TO BE DEDICATED FOR PUBLIC STREET PURPOSES
  - PROPOSED MANHOLE UNLESS NOTED
  - DIRECTION OF PROPOSED SURFACE DRAINAGE FLOW
- AB AGGREGATE BASE
  - AC ASPHALTIC CONCRETE
  - BCM BRASS CAP MONUMENT
  - BM BENCHMARK
  - CATV CABLE TV BOX
  - CNS COMPACTED NATIVE SOIL
  - DI DRAIN INLET
  - FI CONTROL POINT
  - FM FIRE HYDRANT
  - HP MANHOLE
  - OH OVERHEAD POWER
  - PP POWER POLE
  - R RADIUS
  - SD STORM DRAIN
  - SF SQUARE FEET
  - SB SANITARY SEWER
  - TBM TEMPORARY BENCHMARK
  - CP CONTROL POINT
  - TS TELEPHONE RISER
  - TS TRAFFIC SIGNAL
  - TSS TRAFFIC SIGNAL BOX
  - W WATER
  - WW WATER METER
  - WW WATER VALVE

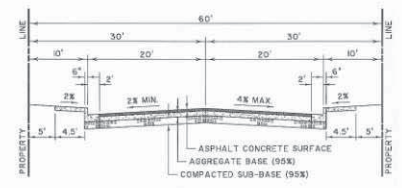
*Council adopted Resolution No. 2003-20 on Oct. 7, 2003 affirming Planning Commission decision.*

*approved as CUP, PUD and Tentative Map by the Planning Commission on Sept. 8, 2003*

*NALL S. VERMA  
 COMMUNITY DEVELOPMENT DIRECTOR  
 CITY OF LEMORE  
 210 FOX ST.  
 LEMORE, CA 93265*



**FRONTAGE ROAD**  
NO SCALE



**TYPICAL RESIDENTIAL STREET**  
NO SCALE

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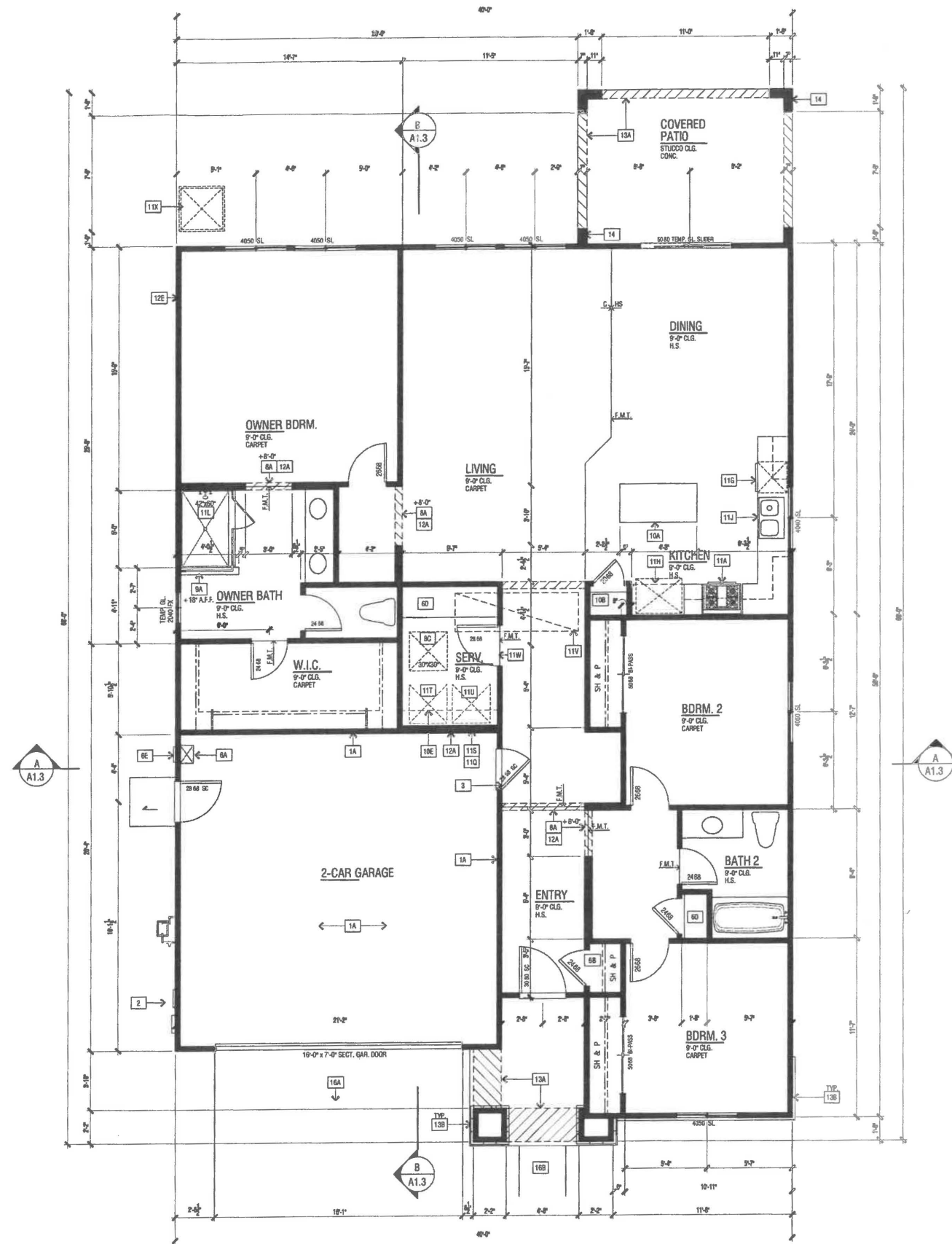
MURPHY DRIVE

REV	DATE	DESCRIPTION	APPROVED
1			
2			
3			
4			
5			
6			



**Michael Sutherland and Associates**  
 LAND SURVEYING & CIVIL ENGINEERING SERVICES  
 3400 AVENUE C SELMA, CA 95368  
 400 WEST ST. SELMA, CA 95368  
 (559)447-5858 (559)931-1140

DATE: JUNE 18, 2003  
 DRAWN BY: JDM  
 CHECKED BY: AS SHOWN  
 PROJECT NO.: 02-260-01  
 DRAWING NO.: D-1046  
 SHEET: 1 OF 1 SHEETS



FLOOR PLAN 'B' REGENCY

FLOOR AREA TABLE	PLAN 1.1695B
FIRST FLOOR PLAN	1695 SQ. FT.
GARAGE	428 SQ. FT.
COVERED ENTRY/PORCH	64 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

FLOOR PLAN KEY NOTES

- NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 047 FOR TYPICAL LAYOUTS AND CONFIGURATIONS
- 1A PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC. 5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE. CHANGES WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. STRUCTURE(S) SUPPORTING THE FLOOR/CEILING ASSEMBLY USED FOR SEPARATION. PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS.
  - 1B PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302.7
  - 2 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 30" SQ. CLEAR SPACE IN FRONT OF PANELS
  - 3 PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.R.C. SECTION R302.5.1.
  - 4 NA
  - 5 NA
  - 6A TANKLESS WATER HEATER
  - 6B COAT CLOSET
  - 6C NA
  - 6D LINEN/ CLOSET
  - 6E TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
  - 7A NA
  - 7B OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATILATOR, H04RGR, UL 307B
  - 7C INTERIOR SOFFIT (DROPPED CEILING(S)) - HEIGHT PER PLAN
  - 8A NA
  - 8C ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR, SEE DETAIL 12/04.
  - 9A GYP. BD. SHELF/WALL - WIDTH AND HEIGHT PER PLAN
  - 9B +24" +30" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1/05
  - 9C +24" +30" GUARD PER C.R.C. SECTION R312 AND C.R.C. TABLE R301.5. SEE DETAIL 1/05
  - 10 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1/04 OR 1/06
  - 10E 2X CRIPPLE WALL
  - 10A KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING.
  - 10B KITCHEN PANTRY - PROVIDE (5) SHELVES
  - 10C OPTIONAL CABINET(S)
  - 10D DESK
  - 10E WIRE SHELVING
  - 10F CABINET WITH CLOTHING ROD
  - 11A 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM VENT TO OUTSIDE AIR. PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
  - 11C 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM VENT TO OUTSIDE AIR. PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
  - 11D NA
  - 11E 30" DOUBLE OVEN
  - 11G DISHWASHER
  - 11H REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
  - 11J DOUBLE SINK WITH GARBAGE DISPOSAL
  - 11K OPTIONAL SINK
  - 11L FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 5/04 AND 1/04
  - 11M SERVICE SINK
  - 11N FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
  - 11P FIBERGLASS BATHS - 80" X 42" TUB WITH SHATTERPROOF ENCLOSURE
  - 11Q DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
  - 11R MNL. 4" DIA. G.I. DRYER VENT - VENT TO OUTSIDE - U.L.D.
  - 11S MNL. 4" DIA. G.I. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.L.D.
  - 11T WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SUMPY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
  - 11U DRYER SPACE
  - 11V ATTIC FAU (FORCED AIR UNIT) - SEE DETAIL 0/05
  - 11W PROVIDE A 24" X 9" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN Faced OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.3.2
  - 11X AIR CONDITIONER CONDENSER LOCATION
  - 12A 2X6 WALL
  - 12B PLUMBING DROP FROM ABOVE
  - 12C ROUTE OF FIREPLACE VENT FROM BELOW
  - 12D HVAC CHASE
  - 12E ROUTE OF A.C. COPPER LINE SET IN WALL
  - 13A STUCCO SOFFIT - SEE EXTERIOR ELEVATION.
  - 13B MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  - 13C MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  - 13D STUCCO LOW WALL - SEE EXTERIOR ELEVATION
  - 14 DOUBLE 2X4 FRAMED WALL
  - 14A STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
  - 14B STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
  - 15A RESAWN WOOD POST - SIZE PER PLAN
  - 15B RESAWN WOOD BEAM - SIZE PER PLAN
  - 15C STUCCO COLUMN - SEE EXTERIOR ELEVATION
  - 16A CONCRETE DRIVE BY OTHERS
  - 16B CONCRETE WALK BY OTHERS
  - 16C CONCRETE STOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MAX
  - 17A LINE OF FLOOR ABOVE
  - 17B LINE OF FLOOR BELOW

FLOOR PLAN NOTES

1. ATTICS: ACCESS PER C.R.C. R307, DRAFTSTOPS PER C.R.C. R302.12 AND VENTILATION PER R303 & R304.1.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R310. MEANS OF EGRESS PER C.R.C. R311.
3. GLAZING PER C.R.C. R308, R302.1 & R301.2.1.2
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.R.C. R1004, R1005, R1006 AND A.S.I.D. RULE 445
5. COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

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DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION

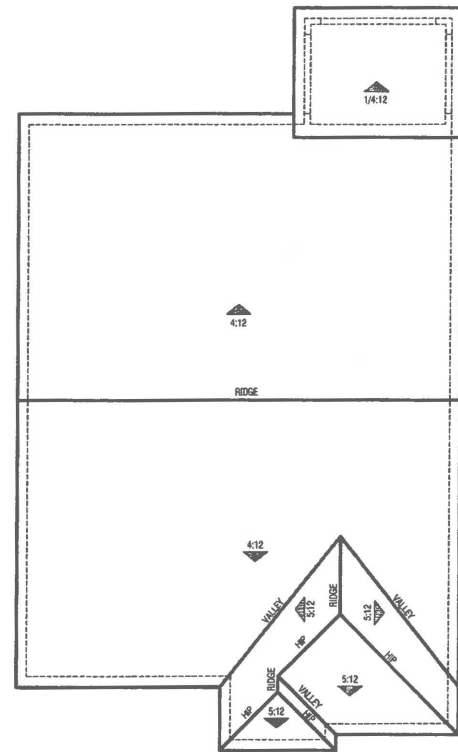
PLAN: **1.1695**

SHEET TITLE:

FLOOR PLAN

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	20160289
CAD FILE NAME:	AB01.D

DATE: 06/14/16 SHEET: **A1.1**

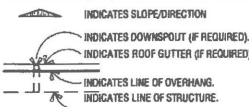


**ROOF PLAN** SCALE: 1/8" = 1'-0"

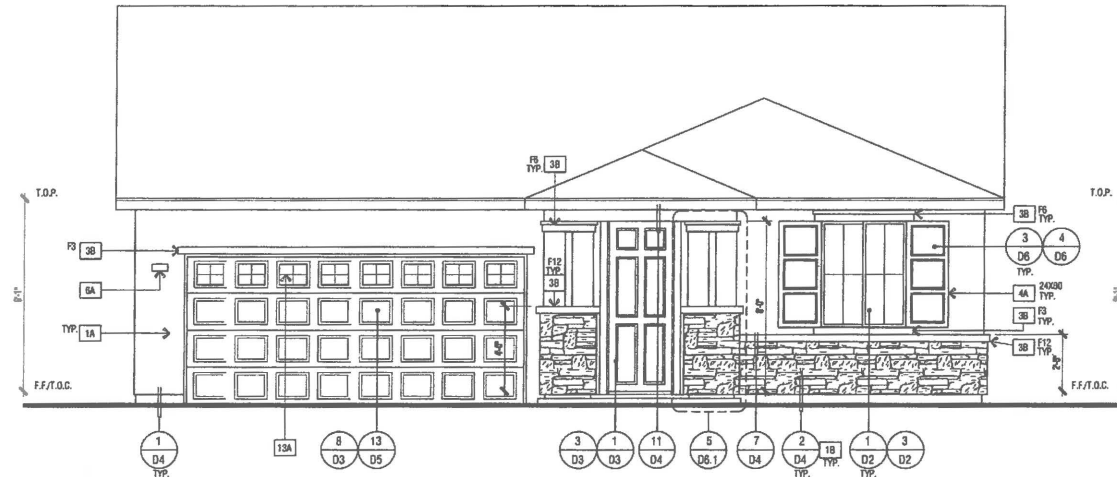
ELEVATION REFERENCE:	ELEVATION STYLE: REGENCY				
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	GARGE - U.N.O.	OVERHANG DIM. - U.N.O.	OVERHANG DIM. - U.N.O.
COMPOSITION SHINGLES	1 D1	2X6	2X6	1'-0"	1'-0"

**ROOF PLAN NOTES**

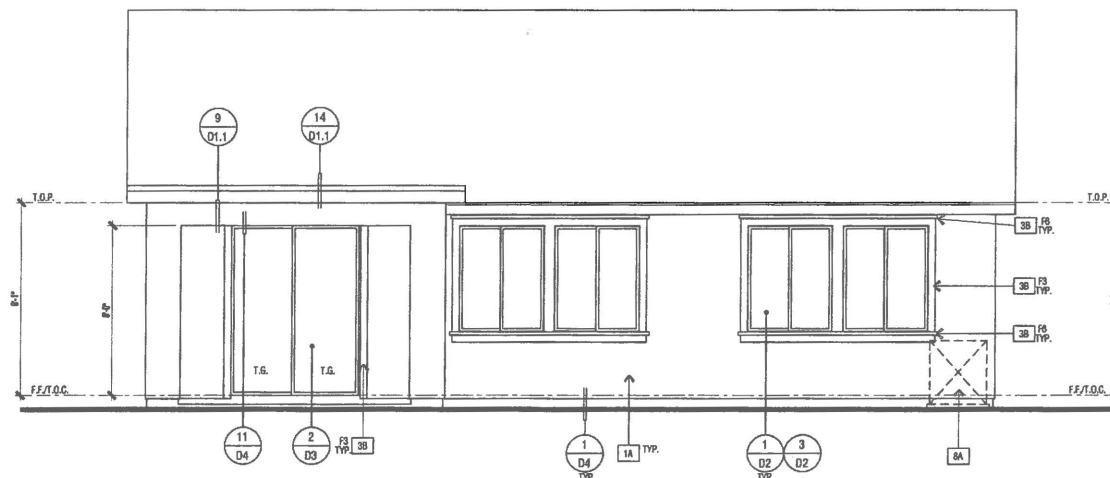
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R900.2. PER CRC SECTION R900.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 5 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CORNICES OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2008 RESIDENTIAL ACH MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

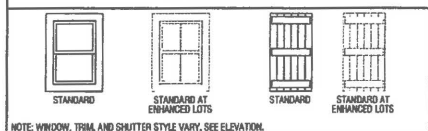
**ELEVATIONS - 'B' REGENCY**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C NA
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDITRIM (BATTS - SPACING PER ELEVATIONS)
- 2A RESAWN WOOD KICKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/ OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/D7
- 2G 1" HARDY HLD HARDITRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FLOORING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/D7
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/D7
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER:  
SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D5 & 4/D6
- 4B DECORATIVE FOAM ACCENT
- 4C NA
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHELF
- 5E G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/D1
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GMS
- 7B NA
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR. SEE FLOOR PLAN
- 11A NA
- 12A NA
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C RAINLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D NA
- 12E NA
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.



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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN:

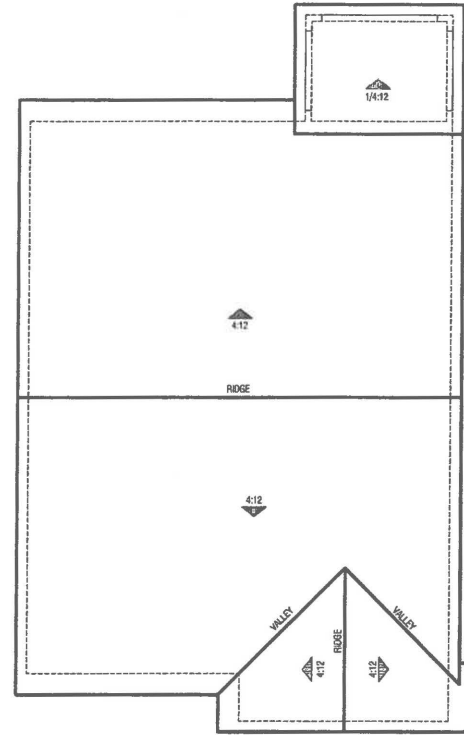
**1.1695**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN B REGENCY**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	AB04

DATE: 06/30/16 SHEET: A1.4

SCALE: 1/4" = 1'-0"

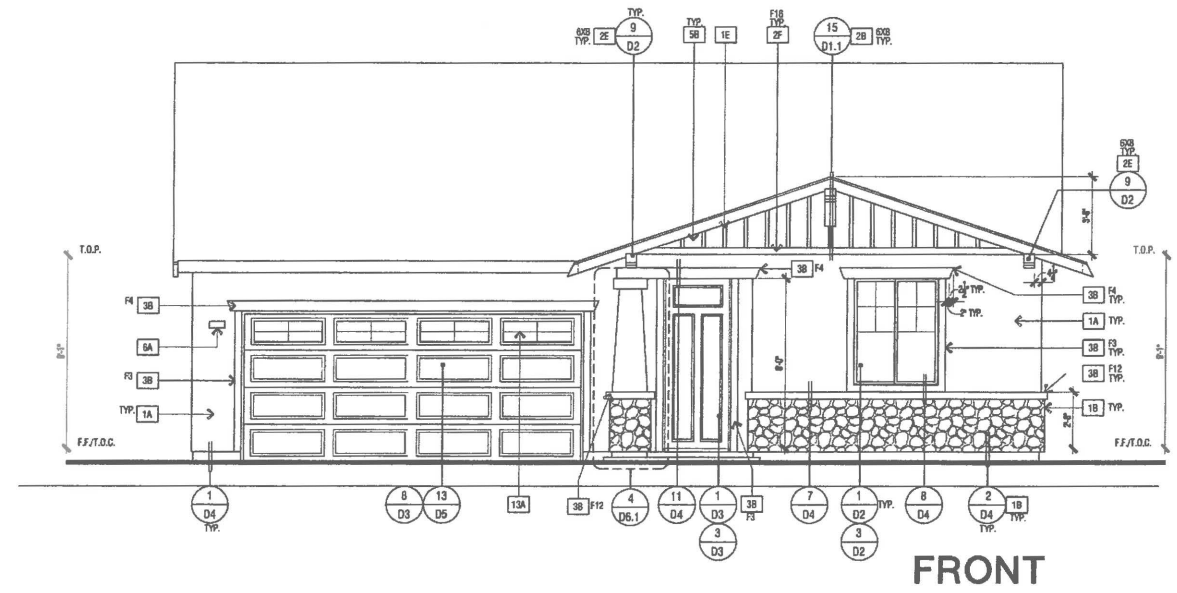


**ROOF PLAN SCALE: 1/8" = 1'-0"**

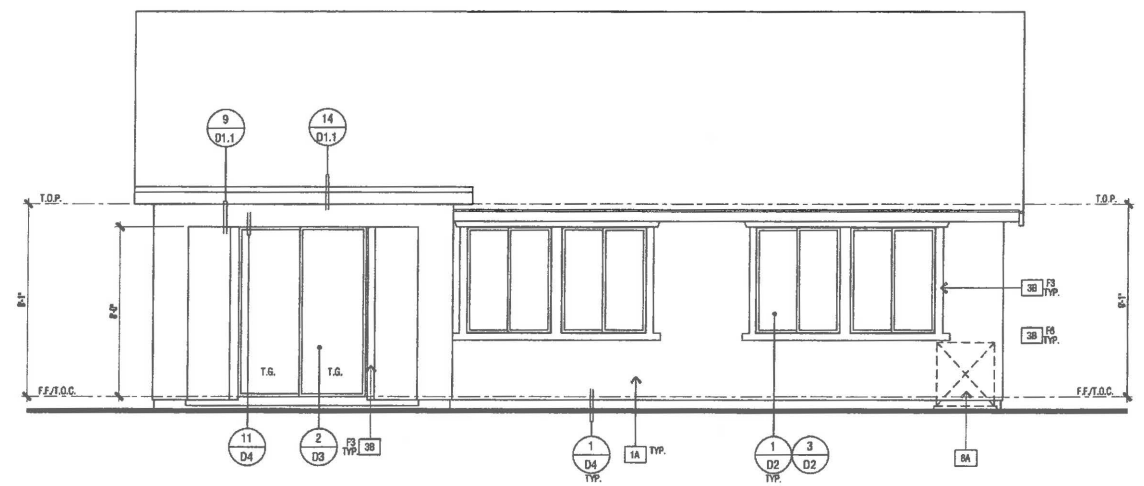
ELEVATION REFERENCE: C		ELEVATION STYLE: CRAFTSMAN			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BASE - U.N.O.	OVERHANG DIM. - U.N.O.	EAVE RAKE
COMPOSITION SHINGLES	1 D1	2X6	2X6	2'-0"	1'-0"

**ROOF PLAN NOTES**

- SEE GENERAL NOTES FOR ROOF NOTES.
  - PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R808. PER CRC SECTION R808.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR COUPOLE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
  - RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON SINGLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2008 RESIDENTIAL AIA MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/D5.
  - PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
  - REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.
- INDICATES SLOPE/DIRECTION  
 INDICATES DOWNSPOUT (IF REQUIRED).  
 INDICATES ROOF GUTTER (IF REQUIRED).  
 INDICATES LINE OF OVERHANG.  
 INDICATES LINE OF STRUCTURE.
- NOTE: RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

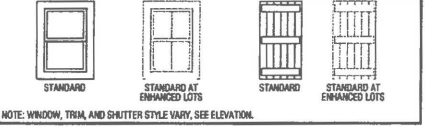
**ELEVATIONS - 'C' CRAFTSMAN**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD KICKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/08
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHLF
- 5E O.I. HICK-OUT FLASHING. SEE DETAIL(S) 4/11
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 0/05
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

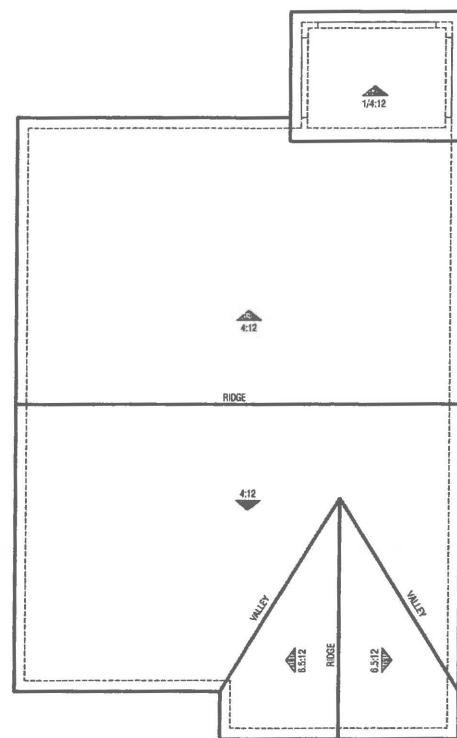
PLAN: **1.1695**

**SHEET TITLE:**  
**ELEVATIONS & ROOF PLAN C CRAFTSMAN**

PROJECT MANAGER:	MH
DESIGNER:	MH
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL:
JOB NUMBER:	2015040
CAD FILE NAME:	AB07

DATE: 06/30/16 SHEET: **A1.7**

**SCALE: 1/4" = 1'-0"**

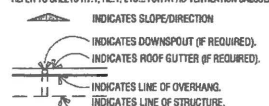


**ROOF PLAN** SCALE: 1/8" = 1'-0"

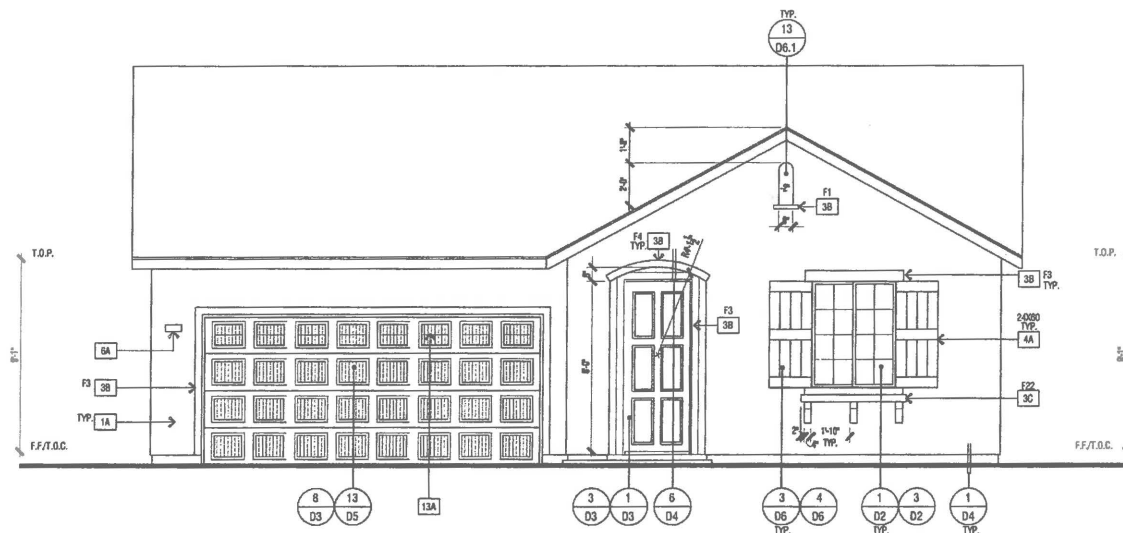
ELEVATION REFERENCE:	D	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA U.N.O.	GARGE U.N.O.	OVERHANG DIM. U.N.O.	RAKE	
COMPOSITION SHINGLES	(1) D1.1	2X6	2X6	1'-0"	1'-0"	

**ROOF PLAN NOTES**

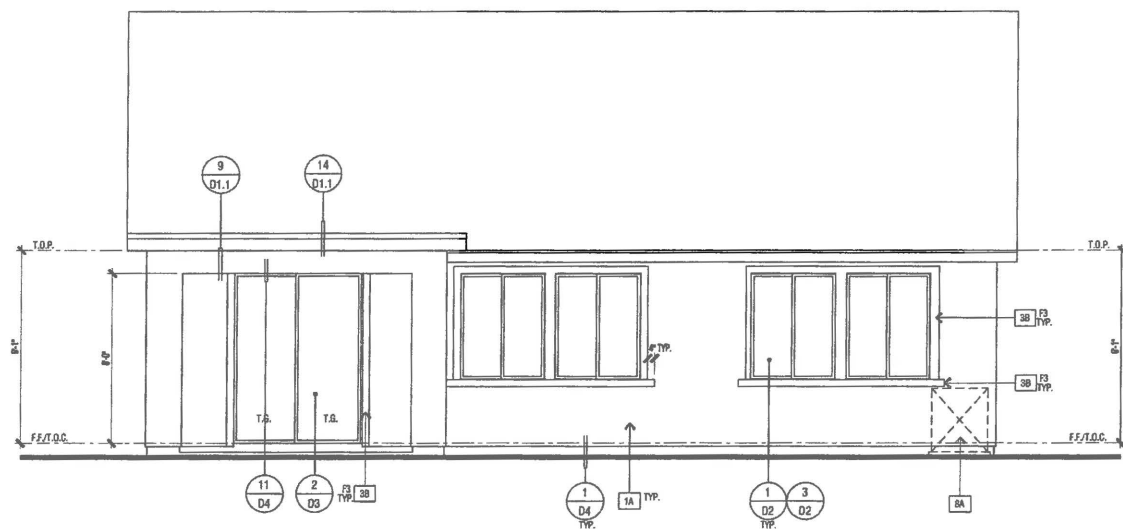
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R908.2. PER CRC SECTION R908.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY GABLE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
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- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 36" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL M/D5



**FRONT**



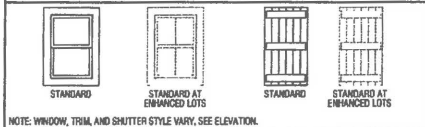
**REAR**

**ELEVATIONS - 'D' COTTAGE**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1598.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD JOCKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/ OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/06
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHLF
- 5E G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GHS
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

**WINDOW & SHUTTER LEGEND**



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



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a D.R. Horton Company

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DR HORTON

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**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **1.1695**

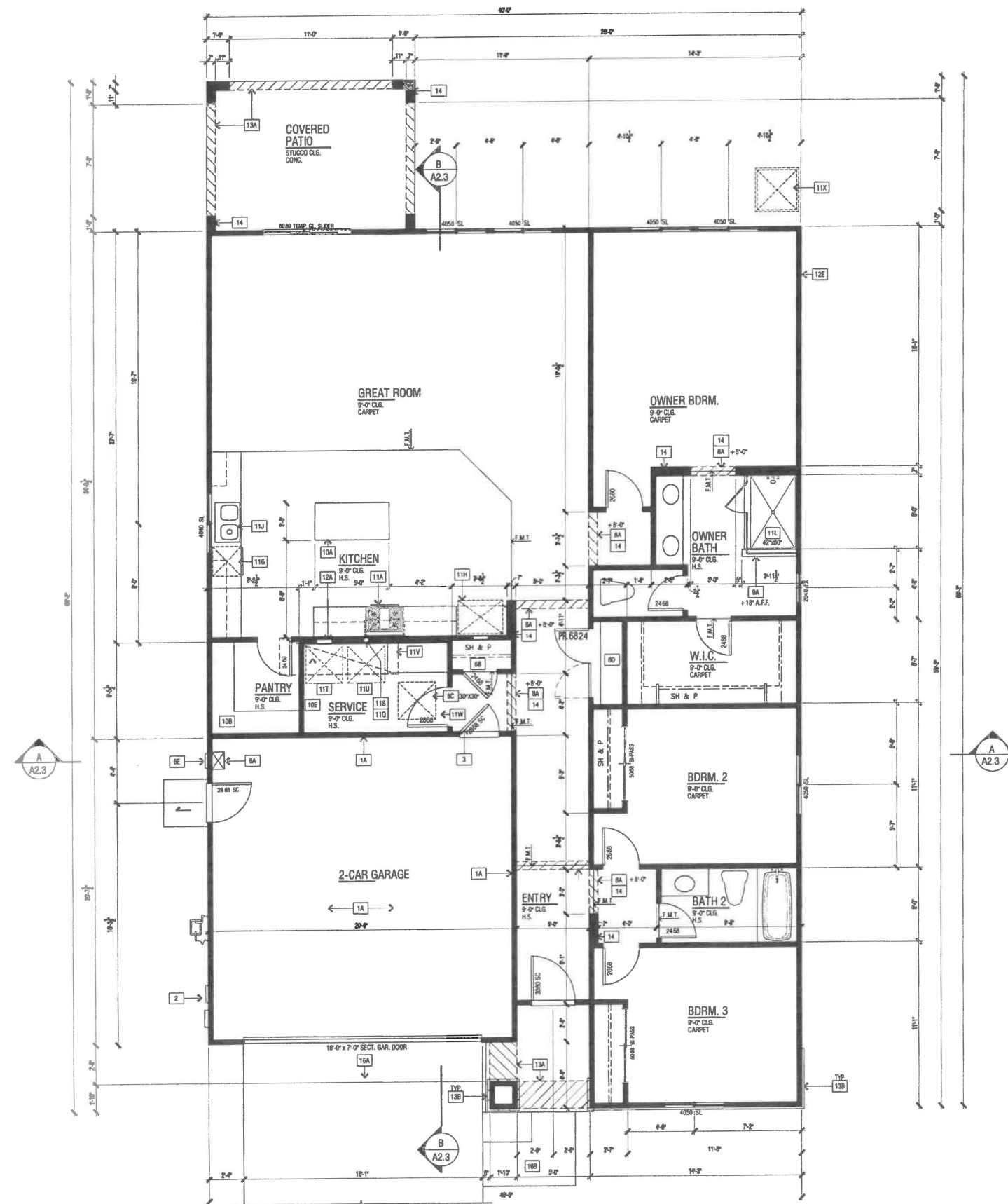
**SHEET TITLE:**  
**ELEVATIONS & ROOF PLAN D COTTAGE**

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AR10

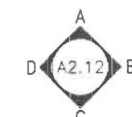
DATE: **06/30/16** SHEET: **A1.10**

SCALE: 1/4" = 1'-0"





FLOOR PLAN  
'B' REGENCY



INTERIOR ELEVATION KEY

FLOOR AREA TABLE	PLAN 2.1816B
FIRST FLOOR PLAN	1816 SQ. FT.
GARAGE	423 SQ. FT.
COVERED ENTRY/PORCH	43 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

**FLOOR PLAN KEY NOTES** 2013 C.R.C.

NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 607 FOR TYPICAL LAYOUTS AND CONFIGURATIONS

- 1A PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC
- 1B 5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE
- 1C GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT, STRUCTURE(S) SUPPORTING THE FLOOR / CEILING ASSEMBLY USED FOR SEPARATION
- 1D PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS.
- 1E PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302.7
- 2 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 30" SQ. CLEAR SPACE IN FRONT OF PANELS
- 3 PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.R.C. SECTION R302.5.1.
- 4 N/A
- 5 N/A
- 6A TANKLESS WATER HEATER
- 6B COAT CLOSET
- 6C N/A
- 6D LINEN / CLOSET
- 6E TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 7A N/A
- 7B OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATILATOR, NCV4236, UL 907B
- 8A INTERIOR SOFFIT(S) / DROPPED CEILING(S); HEIGHT PER PLAN
- 8B N/A
- 8C ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 1204.
- 9A GYP. BD. SHELF/WALL - WIDTH AND HEIGHT PER PLAN
- 9B + 3/4" - 3/8" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1005
- 9C + 3/4" - 3/8" GUARD PER C.R.C. SECTION R312 AND C.R.C. TABLE R301.5. SEE DETAIL 1008
- 9D 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1006 OR 1408
- 9E 2X CRIPPLE WALL
- 10A KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING.
- 10B KITCHEN PANTRY - PROVIDE (S) SHELVES
- 10C OPTIONAL CABINET(S)
- 10D DESK
- 10E WIRE SHELVING
- 10F CABINET WITH CLOTHING ROD
- 11A 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR), PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
- 11B 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR), PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
- 11C N/A
- 11D 30" DOUBLE OVEN
- 11E DISHWASHER
- 11F REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
- 11G DOUBLE SINK WITH GARBAGE DISPOSAL
- 11H OPTIONAL SINK
- 11I FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 904 AND 1004
- 11J SERVICE SINK
- 11K FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
- 11L FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE
- 11M DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
- 11N MIN. 4" DIA. G.I. DRYER VENT - VENT TO OUTSIDE - U.I.O.
- 11O MIN. 4" DIA. G.I. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.I.O.
- 11P WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMITTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
- 11Q DRYER SPACE
- 11R ATTIC FAN (FORCED AIR UNIT) - SEE DETAIL 605
- 11S PROVIDE A 24" X 8" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FREED OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.2
- 11T AIR CONDITIONER CONDENSER LOCATION
- 11U 2X6 WALL
- 12B PLUMBING DROP FROM ABOVE
- 12C ROUTE OF FIREPLACE VENT FROM BELOW
- 12D HVAC CHASE
- 12E ROUTE OF A.C. COPPER LINE SET IN WALL
- 13A STUCCO SOFFIT - SEE EXTERIOR ELEVATION
- 13B MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURERS INSTRUCTIONS
- 13C MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURERS INSTRUCTIONS
- 13D STUCCO LOW WALL - SEE EXTERIOR ELEVATION
- 14 DOUBLE 2X4 FRAMED WALL
- 14A STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
- 14B STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
- 15A RESAWN WOOD POST - SIZE PER PLAN
- 15B RESAWN WOOD BEAM - SIZE PER PLAN
- 15C STUCCO COLUMN - SEE EXTERIOR ELEVATION
- 16A CONCRETE DRIVE BY OTHERS
- 16B CONCRETE WALK BY OTHERS
- 16C CONCRETE SLOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
- 17A LINE OF FLOOR ABOVE
- 17B LINE OF FLOOR BELOW

**FLOOR PLAN NOTES**

- ATTICS: ACCESS PER CRD R907, DRAFTSTOPS PER C.R.C. R302.12 AND VENTILATION PER R906 & R908.1.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R302 & R310.
- MEANS OF EGRESS PER C.R.C. R311.
- GLAZING PER C.R.C. R306, R302.1 & R301.2.1.2
- FACTORY BUILT FIREPLACES AND CHIMNEYS PER C.R.C. R1004, R1005, R1006 AND A.C.M.I. RULE 445.
- COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
- ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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DO NOT SCALE PLANS

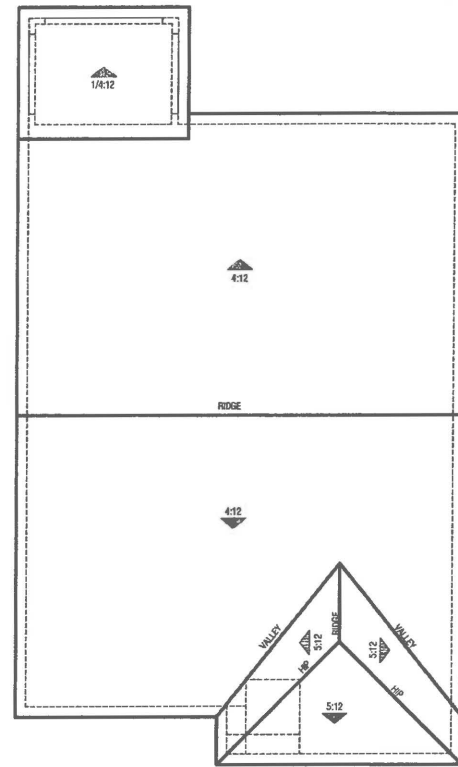
**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **2.1816**

SHEET TITLE:  
**FLOOR PLAN**

PROJECT MANAGER:	MH
DESIGNER:	MH
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL
JOB NUMBER:	2015040
CAD FILE NAME:	AR01.0
DATE:	06/30/16
SHEET:	A2.1

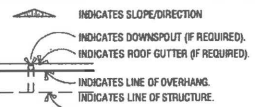


**ROOF PLAN SCALE: 1/8" = 1'-0"**

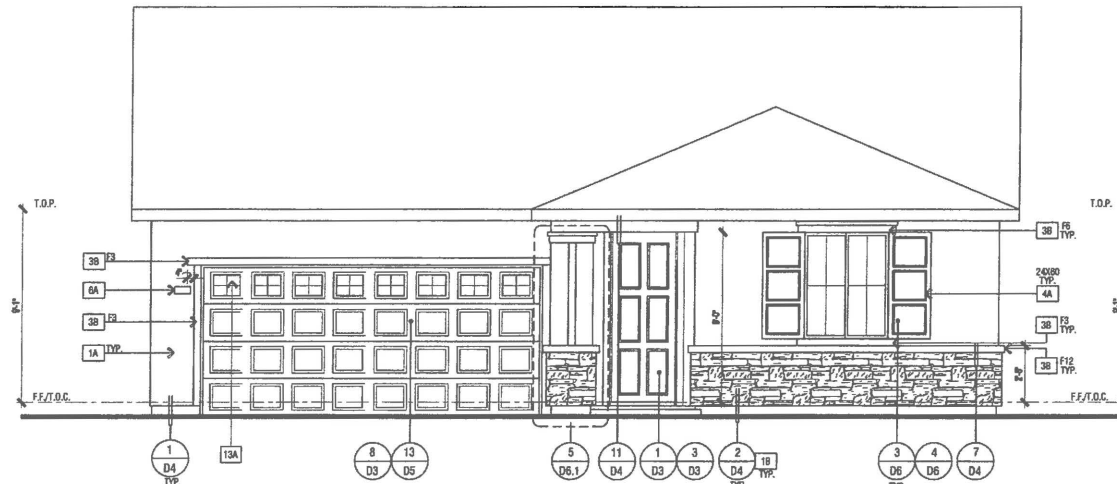
ELEVATION REFERENCE:	ELEVATION STYLE: REGENCY				
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	
COMPOSITION SHINGLES	1 D1	2X6	2X6	1'-0"	1'-0"

**ROOF PLAN NOTES**

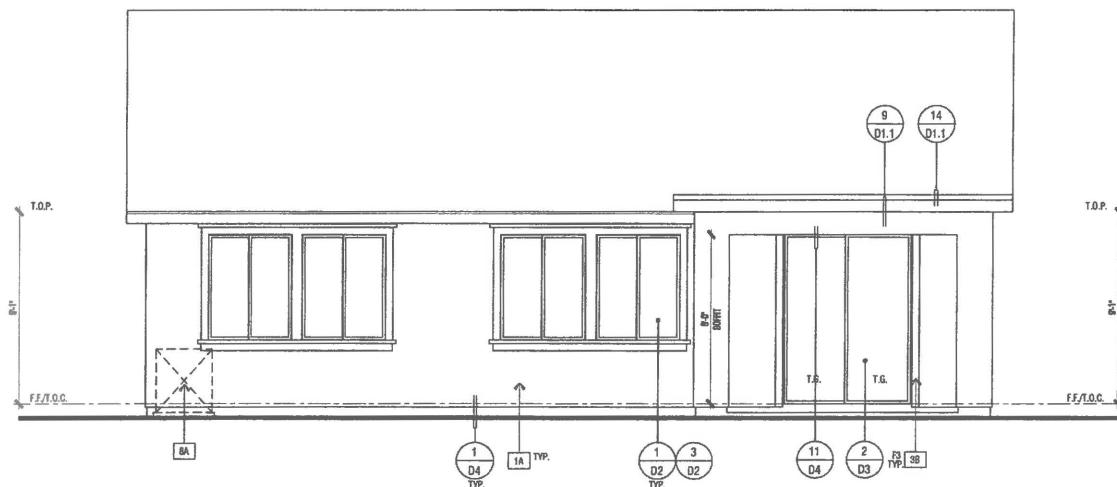
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CBC SECTION R806, PER CBC SECTION R806.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR COUWIDE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS 24-1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS MEMBERS TOWARDS OPEN ATTIC. REFER TO APPENDIX D OF THE 2009 RESIDENTIAL AGM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL FLASHING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS #1.1, #2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



**FRONT**

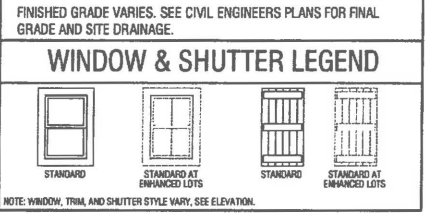


**REAR**

**ELEVATIONS - 'B' REGENCY**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C NA
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDITRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD JOCKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDITRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D6 & 4/D6
- 4B DECORATIVE FOAM ACCENT
- 4C NA
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHLF
- 5E G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/D1
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 01S.
- 7B NA
- 8A AIR CONDITIONER CONDENSER LOCATION
- 8B CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- 11A NA
- 12A NA
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D NA
- 12E NA
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL



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DO NOT SCALE PLANS

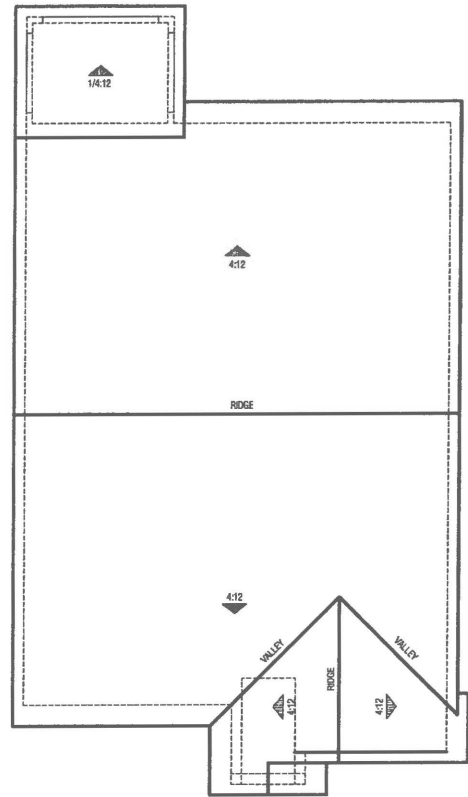
**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **2.1816**

**SHEET TITLE:  
 ELEVATIONS &  
 ROOF PLAN B  
 REGENCY**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	A804

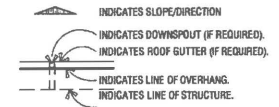


**ROOF PLAN SCALE: 1/8" = 1'-0"**

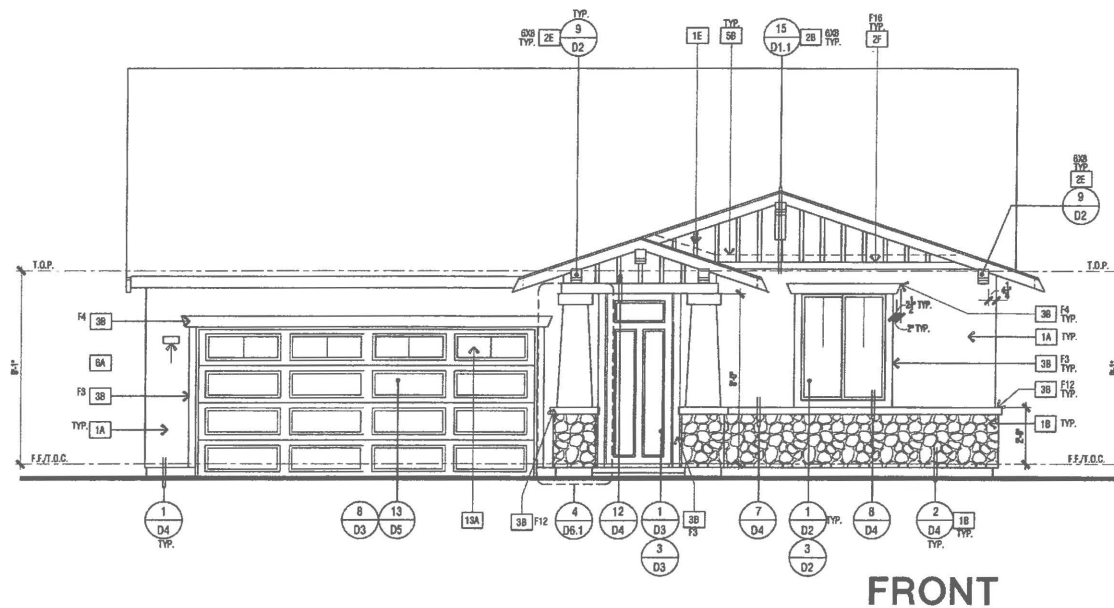
ELEVATION REFERENCE:	C	ELEVATION STYLE:	CRAFTSMAN			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	OVERHANG DIM. - U.N.O.	
COMPOSITION SHINGLES	1/D1	2X6	2X6	2'-0"	1'-0"	

**ROOF PLAN NOTES**

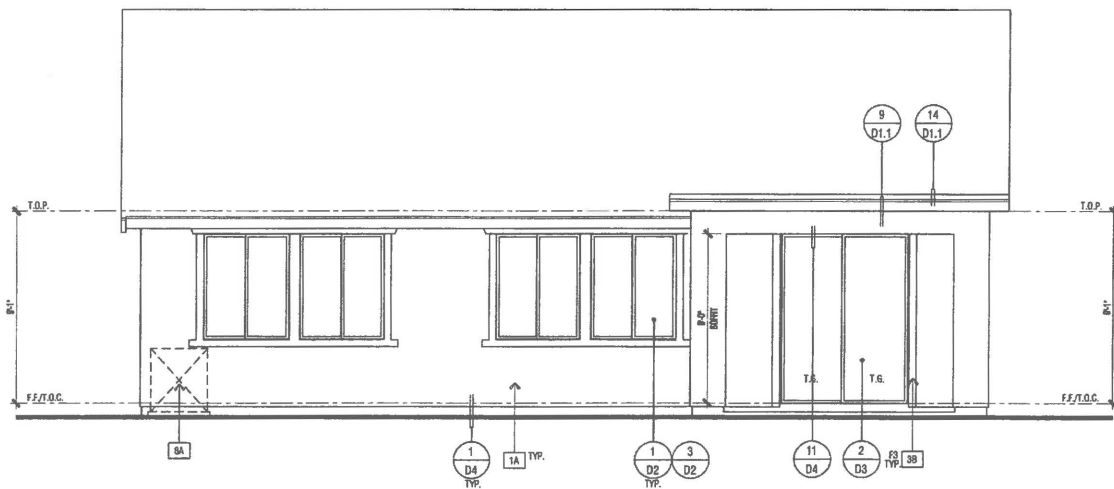
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CGC SECTION R800. PER CGC SECTION R800.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 5 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2006 RESIDENTIAL AGM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM G-1150 AND ASTM G-727. SEE DETAIL 8/D5.
- PROVIDE ALL FLASHING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE: RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

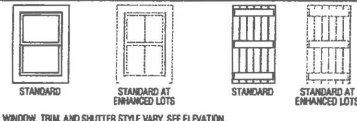
**ELEVATIONS - 'C' CRAFTSMAN**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD JOCKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
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- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D6 & 4/D6
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHLF
- 5E G.I. KICK-OUT FLASHING - SEE DETAIL(S) 4/01
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL - 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GMS
- 7B N/A
- 8A A/R CONDITIONER CONDENSER LOCATION
- 8B CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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DR HORTON

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN:

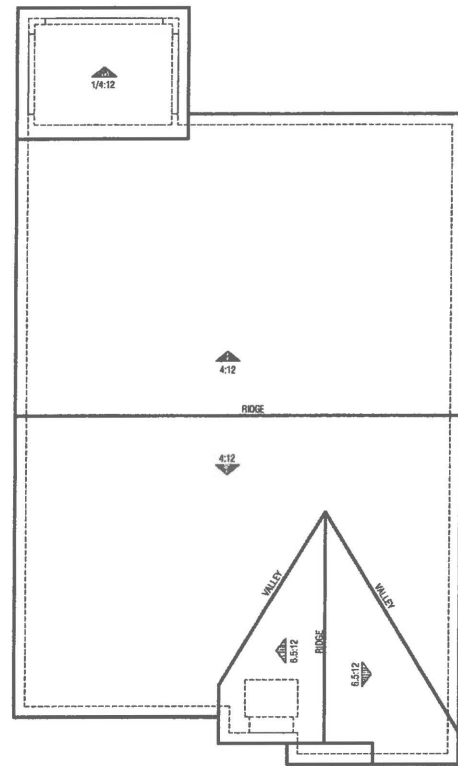
**2.1816**

**SHEET TITLE:  
ELEVATIONS &  
ROOF PLAN C  
CRAFTSMAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB07

DATE: 06/30/16 SHEET: A2.7

SCALE: 1/4" = 1'-0"

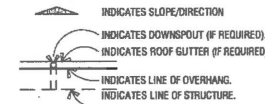


**ROOF PLAN SCALE: 1/8" = 1'-0"**

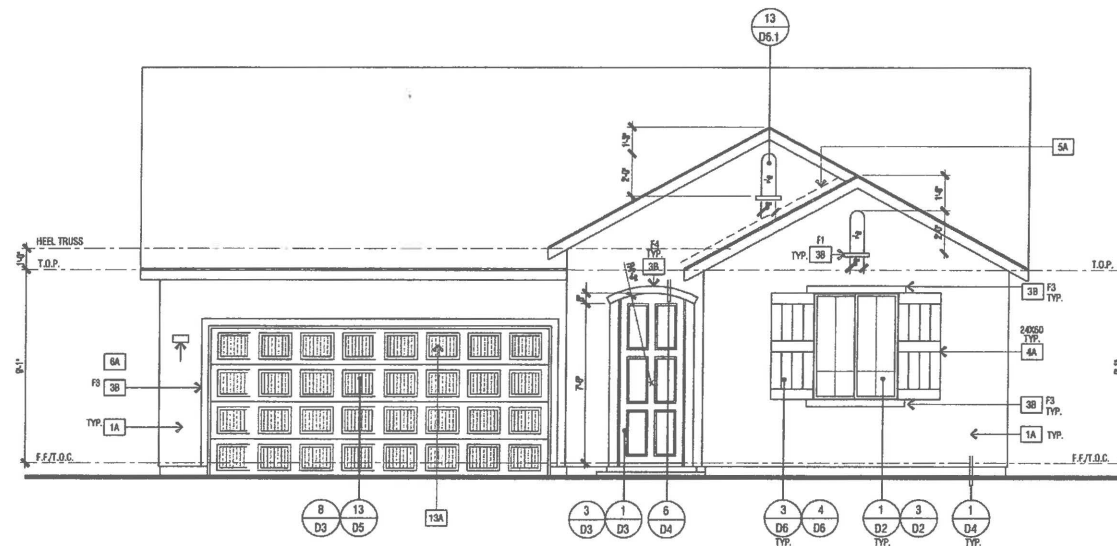
ELEVATION REFERENCE:	D	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	EAVE	RAKE
COMPOSITION SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"	

**ROOF PLAN NOTES**

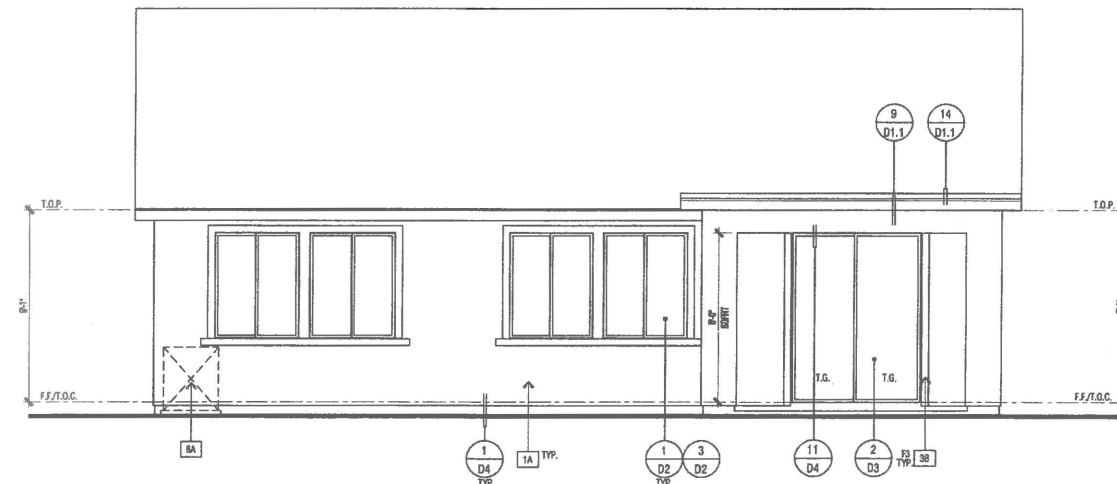
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R903.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAWE OR COSSICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF COORDINATING OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2008 RESIDENTIAL ACH MANUAL, SECTION 14.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 36" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



**FRONT**



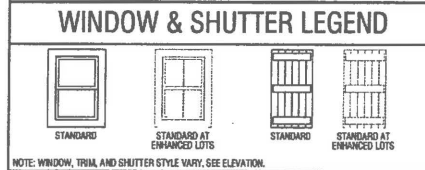
**REAR**

**ELEVATIONS - 'D' COTTAGE**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HAROTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD KICKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HAROTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER:  
SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/08
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHELF
- 5E G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GNS
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FEATURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.



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**REVISIONS**

NO.	DATE	DESCRIPTION

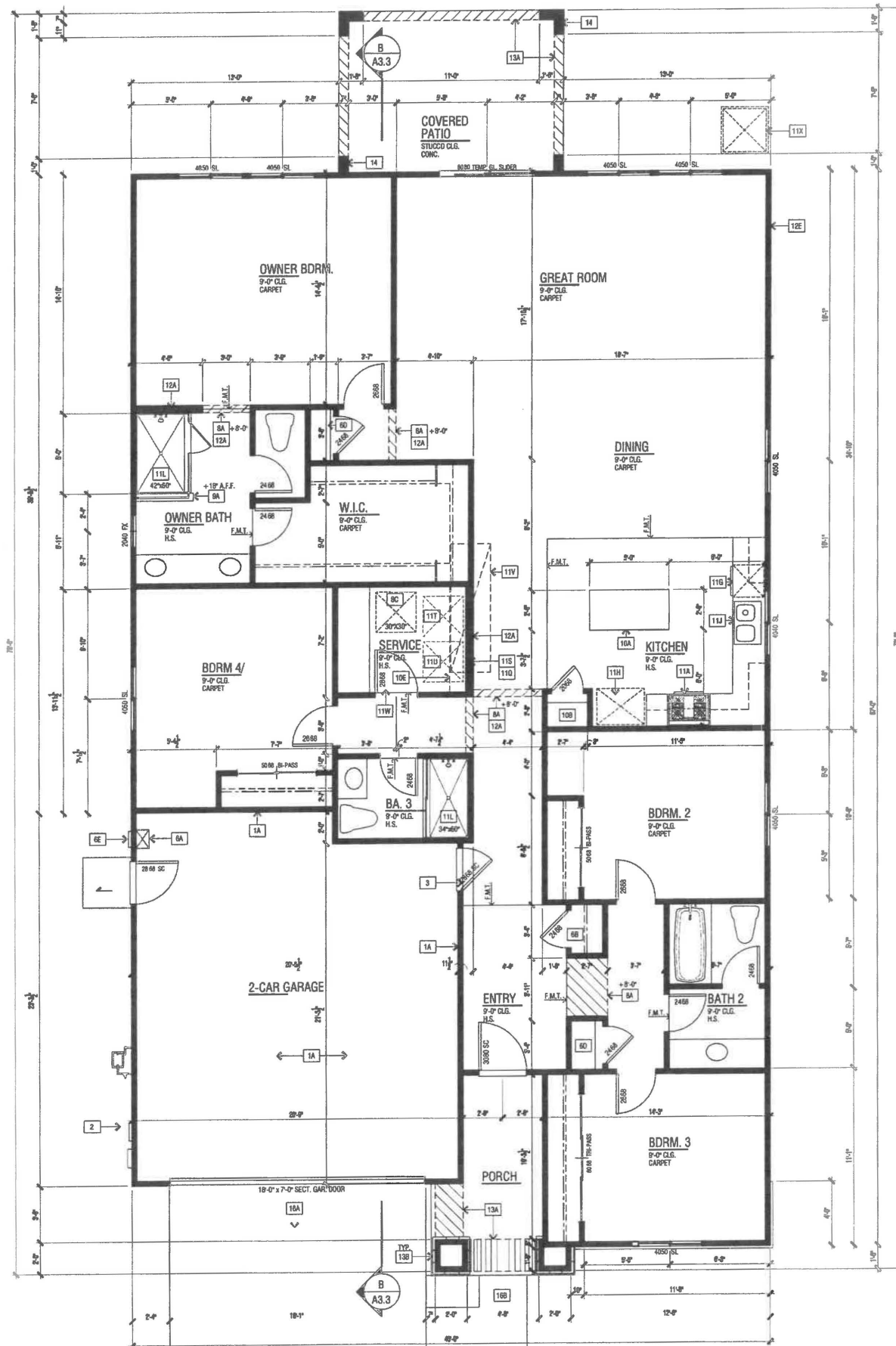
PLAN: **2.1816**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN D COTTAGE**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AR10

DATE: 06/30/16 SHEET: **A2.10**

SCALE: 1/4" = 1'-0"



FLOOR PLAN  
'B' REGENCY



INTERIOR ELEVATION KEY

FLOOR AREA TABLE	PLAN 3.2080B
FIRST FLOOR PLAN	2080 SQ. FT.
GARAGE	463 SQ. FT.
COVERED ENTRY/PORCH	74 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

SCALE: 1/4" = 1'-0"

### FLOOR PLAN KEY NOTES

NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 6107 FOR TYPICAL LAYOUTS AND CONFIGURATIONS

- PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC. 5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE. GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT, STRUCTURES(S) SUPPORTING THE FLOOR / CEILING ASSEMBLY USED FOR SEPARATION. PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS.
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.I.C. SECTION R302.7
- 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 30" SQ. CLEAR SPACE IN FRONT OF PANELS
- PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.I.C. SECTION R502.5.1.
- N/A
- N/A
- TANKLESS WATER HEATER
- COAT CLOSET
- N/A
- LINEIN / CLOSET
- TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- N/A
- OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATILATOR, M0V4236, UL 3078
- INTERIOR SOFFIT(S)/DROPPED CEILING(S); HEIGHT PER PLAN
- N/A
- ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 12/04.
- GYP. BD. SHELF/WALL - WIDTH AND HEIGHT PER PLAN
- +3/4" x 30" HIGH CONTINUOUS HANDRAIL PER C.I.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1/05
- +3/4" x 30" GUARD PER C.I.C. SECTION R312 AND C.I.C. TABLE R301.5. SEE DETAIL 1/06
- 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1/06 OR 1/08
- 2X CRIPPLE WALL
- KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING
- KITCHEN PANTRY - PROVIDE (S) SHELVES
- OPTIONAL CABINET(S)
- DESK
- WIRE SHELVING
- CABINET WITH CLOTHING ROD
- 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
- 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
- N/A
- 30" DOUBLE OVEN
- DISHWASHER
- REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
- DOUBLE SINK WITH GARBAGE DISPOSAL
- OPTIONAL SINK
- FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 9/04 AND 10/04
- SERVICE SINK
- FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
- FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE
- DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
- MIN. 4" DIA. G.L. DRYER VENT - VENT TO OUTSIDE - U.I.D.
- MIN. 4" DIA. G.L. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.I.D.
- WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMITTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
- DRYER SPACE
- ATTIC FAU (FORCED AIR UNIT) - SEE DETAIL 6/05
- PROVIDE A 24" X 8" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FREE OPEN POSITION FOR COMBUSTION AIR PER C.I.C. 504.3.2
- AIR CONDITIONER CONDENSER LOCATION
- 2X8 WALL
- PLUMBING DROP FROM ABOVE
- ROUTE OF FIREPLACE VENT FROM BELOW
- HVAC CHASE
- ROUTE OF A.C. COPPER LINE SET IN WALL
- STUCCO SOFFIT - SEE EXTERIOR ELEVATION
- MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS
- STUCCO LOW WALL - SEE EXTERIOR ELEVATION
- DOUBLE 2X4 FRAMED WALL
- STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
- STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
- RESAWN WOOD POST - SIZE PER PLAN
- RESAWN WOOD BEAM - SIZE PER PLAN
- STUCCO COLUMN - SEE EXTERIOR ELEVATION
- CONCRETE DRIVE BY OTHERS
- CONCRETE WALK BY OTHERS
- CONCRETE STOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
- CONCRETE STOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
- LINE OF FLOOR ABOVE
- LINE OF FLOOR BELOW

### FLOOR PLAN NOTES

- ATTICS: ACCESS PER C.I.C. R307, DRAFTSTOPS PER C.I.C. R302.12 AND VENTILATION PER R308 & R408.1.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.I.C. R202 & R310.
- MEANS OF EGRESS PER C.I.C. R311.
- GLAZING PER C.I.C. R308, R302.1 & R301.2.1.2
- FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.I.C. R1004, R1005, R1006 AND A.I.J.M.D. RULE 445.
- COMBUSTION AIR FOR FORCED AIR UNIT PER C.I.C. CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER C.I.C. SECTION 507.0.
- ENVIRONMENTAL AIR DUCTS PER C.I.C. SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.I.C. 307.

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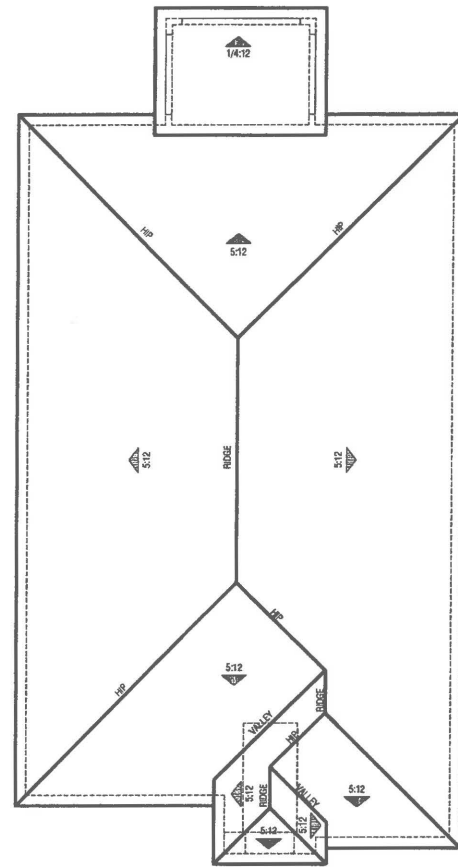
NO.	DATE	DESCRIPTION

PLAN: **3.2080**

SHEET TITLE:  
**FLOOR PLAN**

PROJECT MANAGER:	MH
DESIGNER:	MH
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	A01.D

DATE: 06/30/16 SHEET: **A3.1**

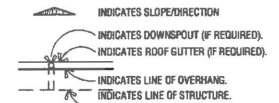


**ROOF PLAN** SCALE: 1/8" = 1'-0"

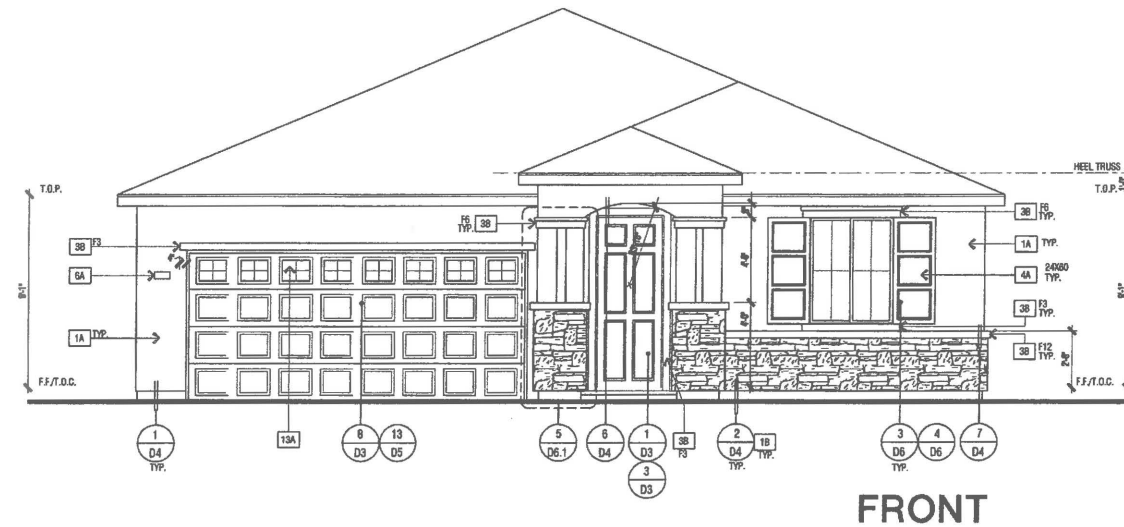
ELEVATION REFERENCE:	ELEVATION STYLE: REGENCY				
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA U.N.O.	BARSE U.N.O.	OVERHANGING DIM. - U.N.O.	
COMPOSITION SHINGLES	1 D1	2X6	2X6	1'-0"	1'-0"

**ROOF PLAN NOTES**

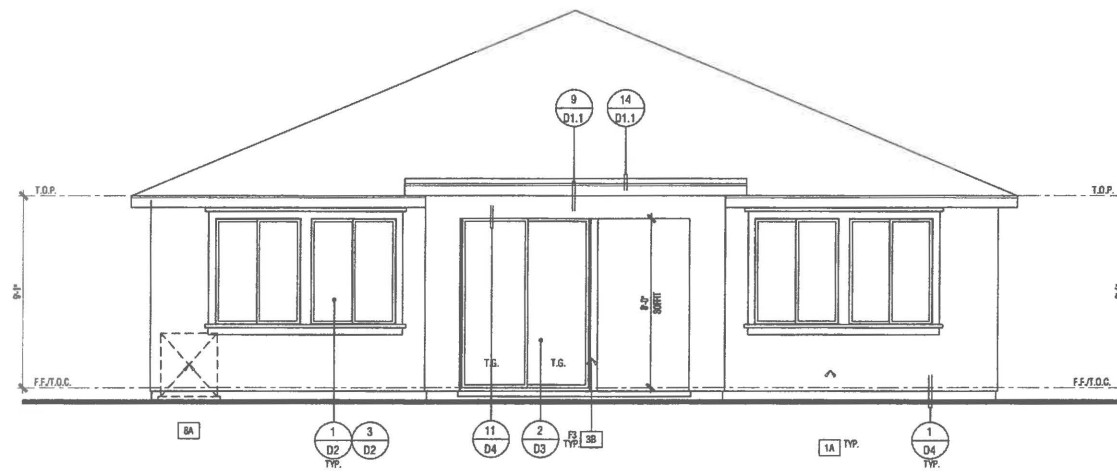
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER IRC SECTION R306. PER IRC SECTION R306.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/200 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNER VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24-1-A. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2008 RESIDENTIAL ACM MANUAL, SECTION RA 2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL B/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC... FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL B/D5



**FRONT**



**REAR**

**ELEVATIONS - 'B' REGENCY**

**ELEVATION KEY NOTES**

1A	ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1184 WITH STAR R FOAM INSULATION BOARD PER ESR-1568
1B	MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1384 & MANUF. INSTRUCTIONS
1C	N/A
1D	RESAWN WOOD BEAM - SIZE PER PLAN
1E	2" HARDY HLD HARDOTRIM BATTIS - SPACING PER ELEVATION(S)
2A	RESAWN WOOD KICKER - SIZE PER PLAN
2B	OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
2C	BUILT-UP WOOD COLUMN
2D	WOOD POST - SIZE PER PLAN
2E	DECORATIVE WOOD CORNICE/OUTLOOKER - SIZE PER ELEVATION
2F	WOOD TRIM - SEE DETAIL(S) 1/07
2G	1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
3A	STUCCO OVER FLAT 2x FURRING
3B	STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
3C	STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
3D	STUCCO OVER SHAPED RECESS
4A	DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/04 & 4/04
4B	DECORATIVE FOAM ACCENT
4C	N/A
5A	G.I. WALL FLASHING
5B	G.I. FLASHING
5C	RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
5D	STUCCO OVER WOOD FRAMED POTSHLF
6E	G.I. KICK-OUT FLASHING - SEE DETAIL(S) 4/01
6A	INTEGRALLY ILLUMINATED ADDRESS PANEL - 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
7A	UTILITY SERVICE PANELS / METERS - VERIFY LOCATIONS(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 010
7B	N/A
8A	AIR CONDITIONER CONDENSER LOCATION
9A	CONCRETE STOOP - SIZE PER FLOOR PLAN
10A	OPTIONAL WINDOW / DOOR - SEE FLOOR PLAN
11A	N/A
12A	N/A
12B	EXTERIOR COACH LIGHT FIXTURE
12C	TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
12D	N/A
12E	N/A
13A	SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
13B	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**

STANDARD	STANDARD AT ENHANCED LITES	STANDARD	STANDARD AT ENHANCED LITES

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

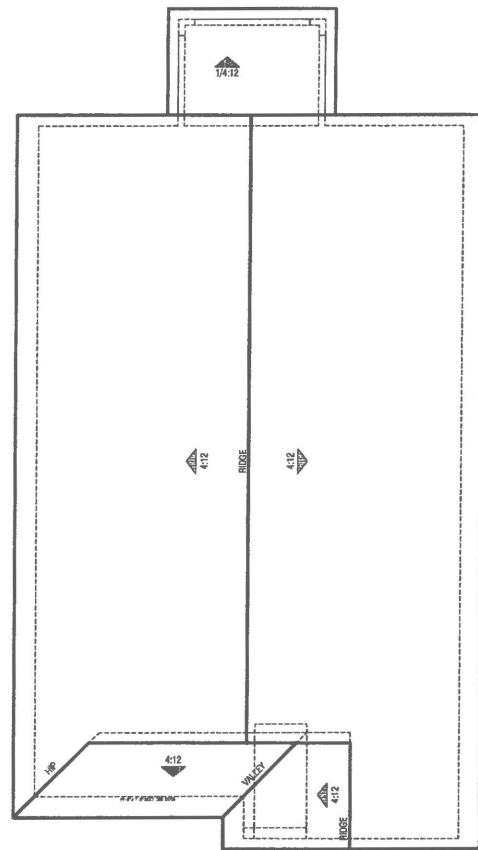
PLAN: **3.2080**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN B REGENCY**

PROJECT MANAGER:	MM
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB04

DATE:	SHEET:
06/30/16	A3.4

SCALE: 1/4" = 1'-0"

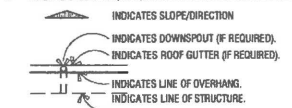


**ROOF PLAN SCALE: 1/8" = 1'-0"**

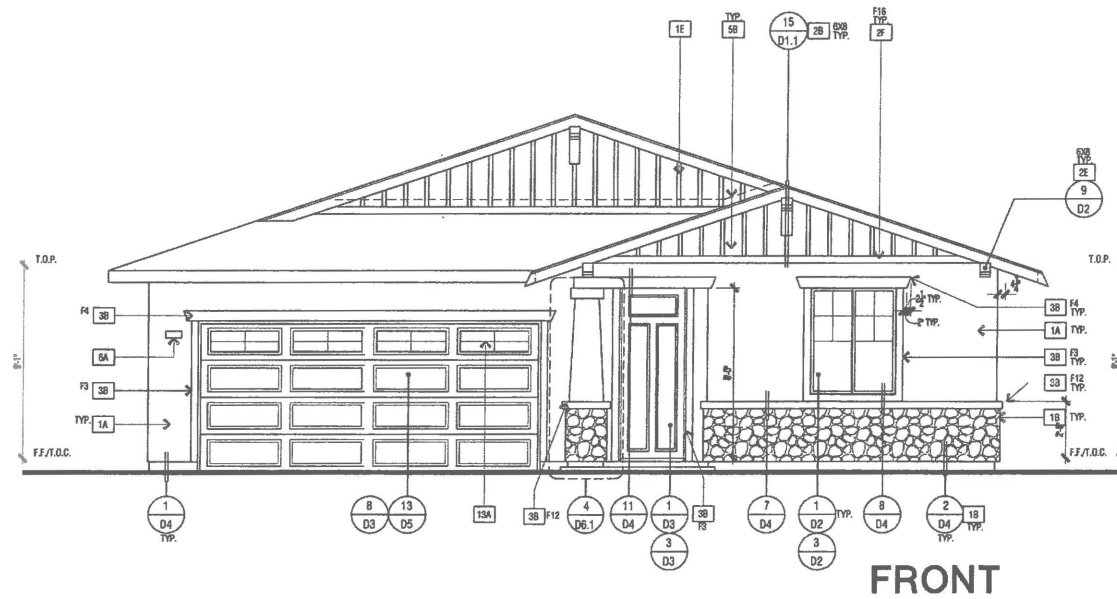
ELEVATION REFERENCE:	C	ELEVATION STYLE:	CRAFTSMAN			
ROOF MATERIAL	STANDARD ROOF DETAIL U.I.O.	FASCIA - U.I.O.	BARGE - U.I.O.	OVERHANG DIM. - U.I.O.	U.I.O.	
COMPOSITION SHINGLES	1 D1	2X6	2X6	2'-0"	1'-0"	

**ROOF PLAN NOTES**

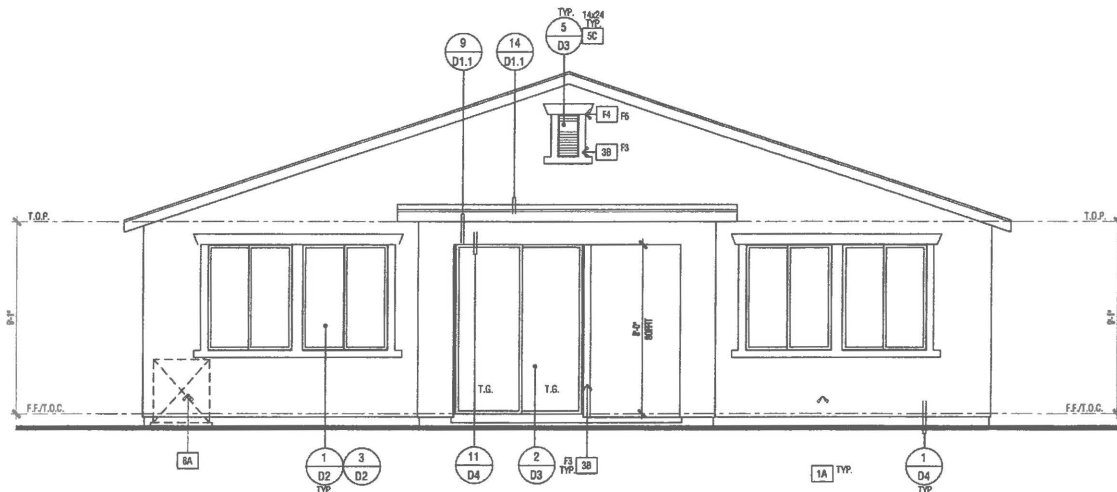
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CHC SECTION R800.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATIONS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2008 RESIDENTIAL AGM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL 8/DS.
- PROVIDE ALL FLASHING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/DS



**FRONT**



**REAR**

**ELEVATIONS - 'C' CRAFTSMAN**

**ELEVATION KEY NOTES**

- ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- NA
- RESAWN WOOD BEAM - SIZE PER PLAN
- 2" HARDY HLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- RESAWN WOOD KICKER - SIZE PER PLAN
- OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- BUILT-UP WOOD COLUMN
- WOOD POST - SIZE PER PLAN
- DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- WOOD TRIM - SEE DETAIL(S) 1/07
- 1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
- STUCCO OVER FLAT 2x FURRING
- STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED RECESS
- DECORATIVE SHUTTER:  
SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/D6 & 4/06
- DECORATIVE FOAM ACCENT
- NA
- G.I. WALL FLASHING
- G.I. FLASHING
- RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- STUCCO OVER WOOD FRAMED POTSHLF
- G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
- INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- UTILITY SERVICE PANELS / METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET ONE
- NA
- AIR CONDITIONER CONDENSER LOCATION
- CONCRETE ETOOP - SIZE PER FLOOR PLAN
- OPTIONAL WINDOW / DOOR. SEE FLOOR PLAN
- NA
- NA
- EXTERIOR COACH LIGHT FIXTURE
- TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (W/ARE & EXHAUST DIRECTLY FROM OUTSIDE)
- NA
- NA
- SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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**Express HOMES**  
a D.E. Horton Company

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

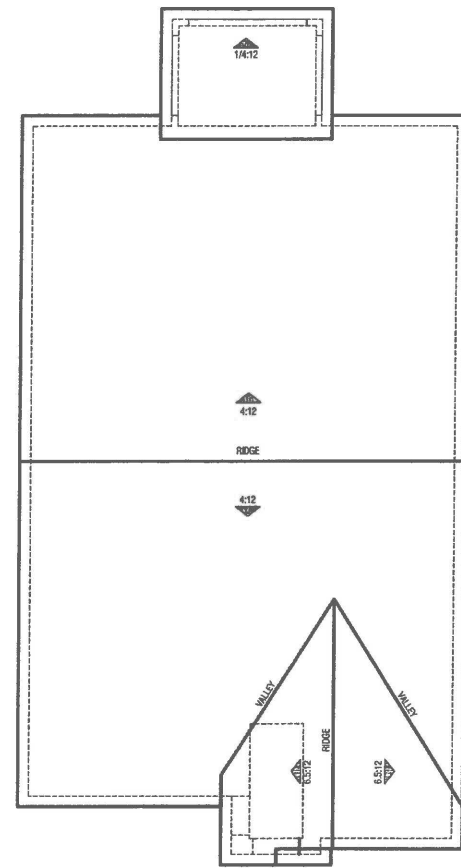
PLAN: **3.2080**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN C CRAFTSMAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	A807

DATE:	06/30/16	SHEET:	A3.7
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SCALE: 1/4" = 1'-0"

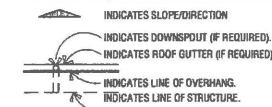


**ROOF PLAN SCALE: 1/8" = 1'-0"**

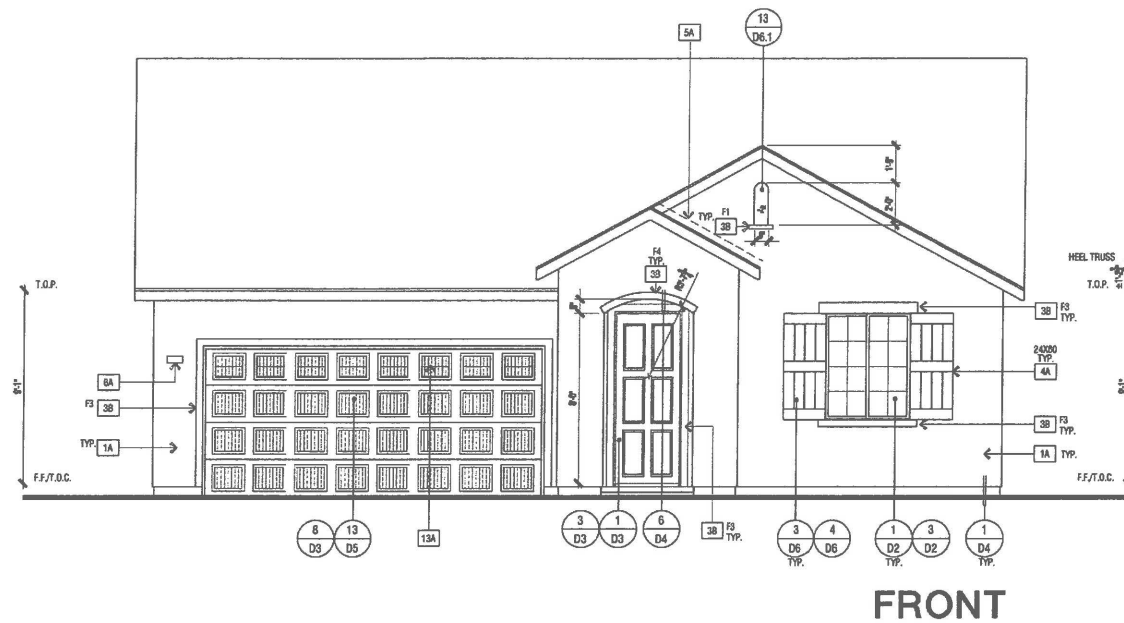
ELEVATION REFERENCE:	D	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.		
COMPOSITION SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"	

**ROOF PLAN NOTES**

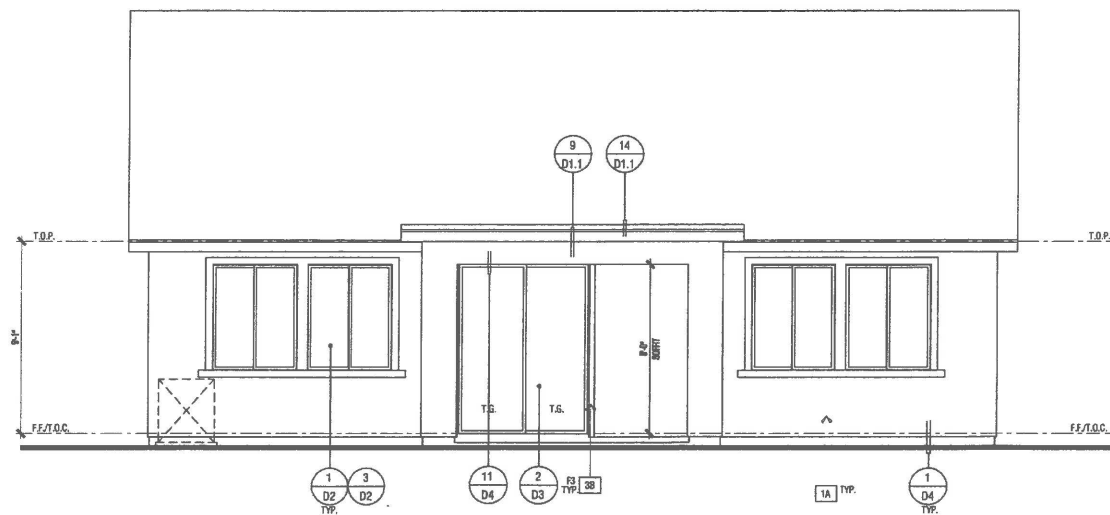
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R900.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 04 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2006 RESIDENTIAL AGM MANUAL, SECTION R4.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1151 AND ASTM C-277. SEE DETAIL B/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL B/D5



**FRONT**



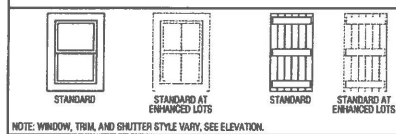
**REAR**

**ELEVATIONS - 'D' COTTAGE**

ELEVATION KEY NOTES	
1A	ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1104 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
1B	MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
1C	NA
1D	RESAWN WOOD BEAM - SIZE PER PLAN
1E	2" HARDY HLD HARDITRIM BATTS - SPACING PER ELEVATION(S)
2A	RESAWN WOOD HOOKER - SIZE PER PLAN
2B	OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
2C	BUILT-UP WOOD COLUMN
2D	WOOD POST - SIZE PER PLAN
2E	DECORATIVE WOOD CORBEL/ OUTLOOKER - SIZE PER ELEVATION
2F	WOOD TRIM - SEE DETAIL(S) 1/07
2G	1" HARDY HLD HARDITRIM - SIZE PER ELEVATION
3A	STUCCO OVER FLAT 2x FLOORING
3B	STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
3C	STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
3D	STUCCO OVER SHAPED RECESS
4A	DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/06
4B	DECORATIVE FOAM ACCENT
4C	NA
5A	G.I. WALL FLASHING
5B	G.I. FLASHING
5C	RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
5D	STUCCO OVER WOOD FRAMED POTSHLF
5E	G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
6A	INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
7A	UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GNS
7B	NA
8A	AIR CONDITIONER CONDENSER LOCATION
9A	CONCRETE STOOP - SIZE PER FLOOR PLAN
10A	OPTIONAL WINDOW / DOOR. SEE FLOOR PLAN
11A	NA
12A	NA
12B	EXTERIOR COACH LIGHT FIXTURE
12C	TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
12D	NA
12E	NA
13A	SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
13B	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.

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**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **3.2080**

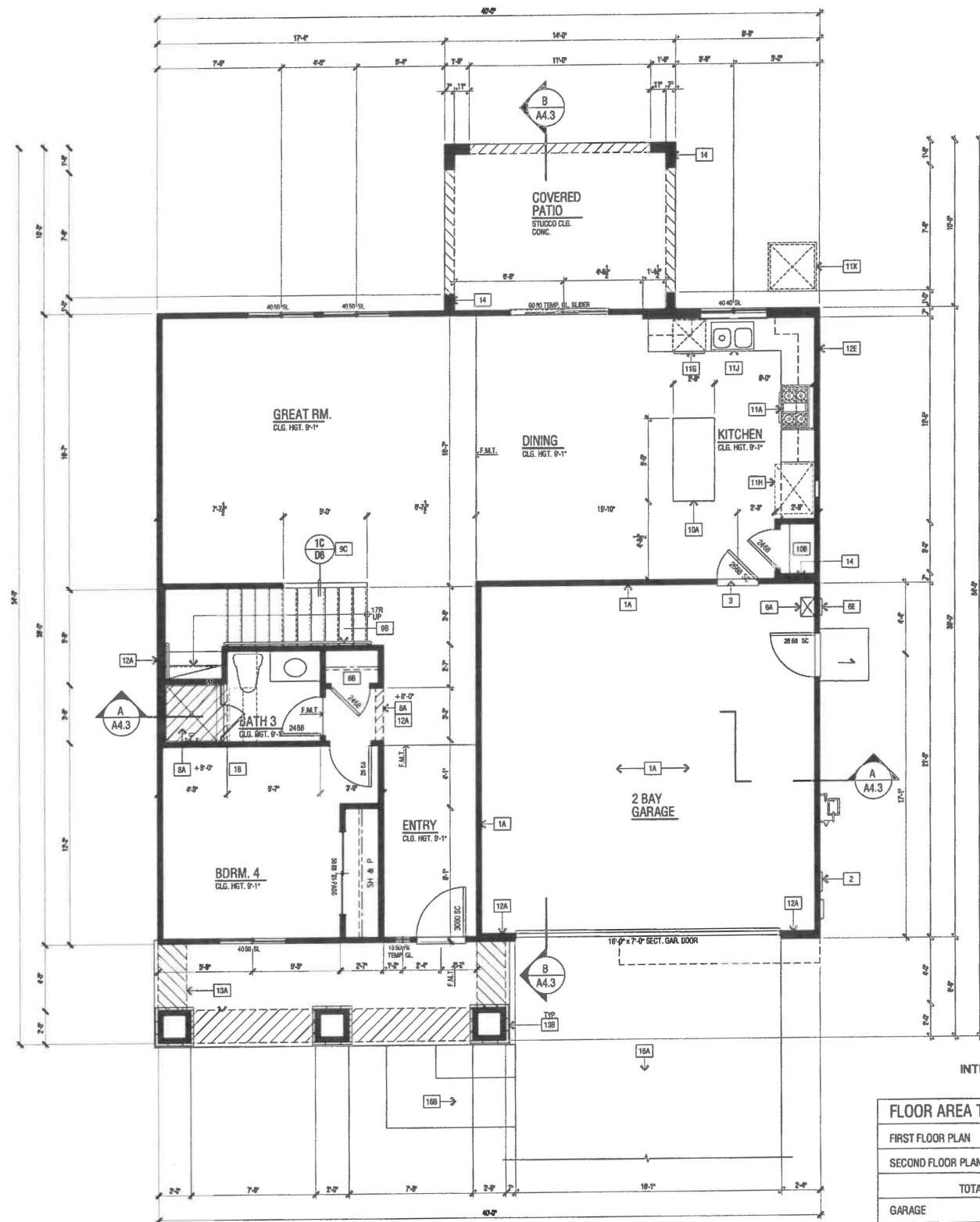
**SHEET TITLE:  
ELEVATIONS &  
ROOF PLAN D  
COTTAGE**

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	A810

DATE: 06/30/16 SHEET: **A3.10**

SCALE: 1/4" = 1'-0"





FLOOR AREA TABLE	PLAN 4.2544B
FIRST FLOOR PLAN	1082 SQ. FT.
SECOND FLOOR PLAN	1462 SQ. FT.
TOTAL	2544 SQ. FT.
GARAGE	438 SQ. FT.
COVERED ENTRY/PORCH	126 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

LOWER FLOOR PLAN 'B' REGENCY

FLOOR PLAN KEY NOTES

- NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 0107 FOR TYPICAL LAYOUTS AND CONFIGURATIONS
- 1A PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC
  - 1B PROVIDE 5/8" TYPE 'X' GYP. BOARD SHALL BE APPLIED TO THE GARAGE SIDE
  - 1C GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYP. BOARD OR EQUIVALENT STRUCTURE(S) SUPPORTING THE FLOOR/CEILING ASSEMBLY USED FOR SEPARATION
  - 1D PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS
  - 1E PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.I.C. SECTION R302.7
  - 2 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 90" SQ. CLEAR SPACE IN FRONT OF PANELS
  - 3 PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER C.I.C. SECTION R302.5.1
  - 4 NA
  - 5 NA
  - 6A TANKLESS WATER HEATER
  - 6B COAT CLOSET
  - 6C NA
  - 6D LINEN / CLOSET
  - 6E TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
  - 7A NA
  - 7B OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATILATOR MFG. INSTRUCTIONS, U.L. 3087
  - 8A INTERIOR SOFFIT(DROPPED CEILING(S)): HEIGHT PER PLAN
  - 8B NA
  - 8C ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR, SEE DETAIL 12/04
  - 8D GYP. BD. SHELF/WALL - WIDTH AND HEIGHT PER PLAN
  - 8E +34" - 30" HIGH CONTINUOUS HANDRAIL PER C.I.C. R311.2.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1/06
  - 8F +34" - 30" GUARD PER C.I.C. SECTION R312 AND C.I.C. TABLE R301.5. SEE DETAIL 1/06
  - 8G 2X LOW WALL WITH 1X MDF GAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1/06 OR 1/08
  - 8H 2X CRIPPLE WALL
  - 10A KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING
  - 10B KITCHEN PANTRY - PROVIDE (3) SHELVES
  - 10C OPTIONAL CABINETS
  - 10D DESK
  - 10E WIRE SHELVING
  - 10F CABINET WITH CLOTHING ROD
  - 10G 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM VENT TO OUTSIDE AIR, PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
  - 10H 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM VENT TO OUTSIDE AIR, PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
  - 11A NA
  - 11B 30" DOUBLE OVEN
  - 11C DISHWASHER
  - 11D REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
  - 11E DOUBLE SINK WITH GARBAGE DISPOSAL
  - 11F OPTIONAL SINK
  - 11G FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 3/04 AND 1/04
  - 11H SERVICE SINK
  - 11I FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
  - 11J FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE
  - 11K DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
  - 11L MIN. 4" DIA. G.L. DRYER VENT - VENT TO OUTSIDE - U.L. 0
  - 11M MIN. 4" DIA. G.L. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.L. 0
  - 11N WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMITTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
  - 11O DRYER SPACE
  - 11P ATTIC FAU (FORCED AIR UNIT) - SEE DETAIL 6/05
  - 11Q PROVIDE A 24" X 8" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FREED OPEN POSITION FOR COMBUSTION AIR PER C.I.C. 504.3.2
  - 11R AIR CONDITIONER CONDENSER LOCATION
  - 11S 2X6 WALL
  - 11T PLUMBING DROP FROM ABOVE
  - 11U ROUTE OF FIREPLACE VENT FROM BELOW
  - 11V HVAC CHASE
  - 11W ROUTE OF A.C. COPPER LINE SET IN WALL
  - 11X STUCCO SOFFIT - SEE EXTERIOR ELEVATION
  - 11Y MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  - 11Z MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  - 12A STUCCO LOW WALL - SEE EXTERIOR ELEVATION
  - 12B DOUBLE 2X4 FRAMED WALL
  - 12C STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
  - 12D STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
  - 12E RESAWN WOOD POST - SIZE PER PLAN
  - 12F RESAWN WOOD BEAM - SIZE PER PLAN
  - 12G STUCCO COLUMN - SEE EXTERIOR ELEVATION
  - 12H CONCRETE DRIVE BY OTHERS
  - 12I CONCRETE WALK BY OTHERS
  - 12J CONCRETE STUCCO - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
  - 12K LINE OF FLOOR ABOVE
  - 12L LINE OF FLOOR BELOW

FLOOR PLAN NOTES

1. ATTIC ACCESS PER C.I.C. R307, DRAFTSTOPS PER C.I.C. R302.12 AND VENTILATION PER ROOF & RAOF.1.
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.I.C. R202 & R310. MEANS OF EGRESS PER C.I.C. R311.
3. GLAZING PER C.I.C. R308, R309.1 & R301.2.12
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.I.C. R1004, R1005, R1006 AND A.C.M.D. TABLE 405
5. COMBUSTION AIR TO FORCED AIR UNIT PER C.I.C. CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER C.I.C. SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.I.C. 307.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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 925-463-1700 www.wharchitects.com

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DR HORTON

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DO NOT SCALE PLANS

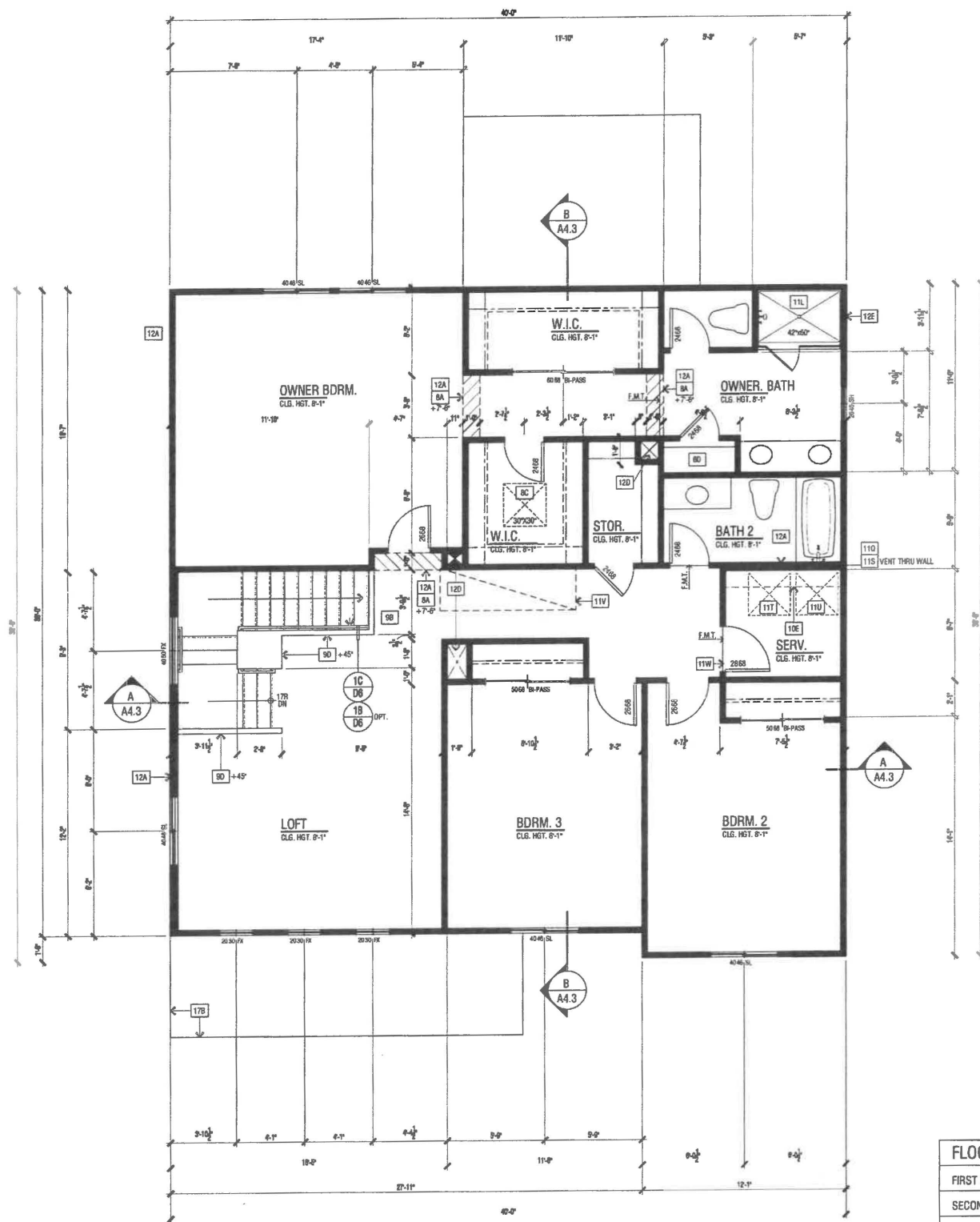
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN: **4.2544**

SHEET TITLE:

LOWER FLOOR PLAN

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB01.D
DATE:	06/30/16
SHEET:	A4.1



FLOOR AREA TABLE	PLAN 4.2544B
FIRST FLOOR PLAN	1082 SQ. FT.
SECOND FLOOR PLAN	1462 SQ. FT.
TOTAL	2544 SQ. FT.
GARAGE	438 SQ. FT.
COVERED ENTRY/PORCH	126 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

UPPER FLOOR PLAN 'B' REGENCY

### FLOOR PLAN KEY NOTES

2013 C.R.C.

NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 607 FOR TYPICAL LAYOUTS AND CONFIGURATIONS

- 1A PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC. 5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE. GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT STRUCTURE(S) SUPPORTING THE FLOOR / CEILING ASSEMBLY USED FOR DEFORMATION. PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS.
- 1B PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302.7
- 2 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 36" SQ. CLEAR SPACE IN FRONT OF PANELS
- 3 PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.R.C. SECTION R302.5.1.
- 4 N/A
- 5 N/A
- 6A TANKLESS WATER HEATER
- 6B COAT CLOSET
- 6C N/A
- 6D LINEN / CLOSET
- 6E TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 7A N/A
- 7B OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATLATOR, MDV4236, UL 3078
- 8A INTERIOR SOFFIT (SYNDROPPED CEILING(S)) HEIGHT PER PLAN
- 8B N/A
- 8C ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 1204.
- 9A GYP. BD. SHELF/WALL - WIDTH AND HEIGHT PER PLAN
- 9B +3/4" - +3/8" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 109
- 9C +3/4" - +3/8" GUARD PER C.R.C. SECTION R312 AND C.R.C. TABLE R301.5. SEE DETAIL 106
- 9D 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 110/06 OR 110/08
- 9E 2X CRIPPLE WALL
- 10A KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING.
- 10B KITCHEN PANTRY - PROVIDE (3) SHELVES
- 10C OPTIONAL CABINET(S)
- 10D DESK
- 10E WIRE SHELVING
- 10F CABINET WITH CLOTHING ROD
- 11A 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
- 11C 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
- 11D N/A
- 11E 30" DOUBLE OVEN
- 11G DISHWASHER
- 11H REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
- 11J DOUBLE SINK WITH GARBAGE DISPOSAL
- 11K OPTIONAL SINK
- 11L FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 904 AND 1004
- 11M SERVICE SINK
- 11N FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
- 11P FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE
- 11Q DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
- 11R MRL 4" DIA. GL. DRYER VENT - VENT TO OUTSIDE - U.I.D.
- 11S MRL 4" DIA. GL. DRYER VENT WITH APPROVED LIMIT TRAP - VENT THROUGH ROOF - U.I.D.
- 11T WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMITTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
- 11U DRYER SPACE
- 11V ATTIC FAU (FORCED AIR UNIT) - SEE DETAIL 905
- 11W PROVIDE A 24" X 8" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FREE OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.3.2
- 11X AIR CONDITIONER CONDENSER LOCATION
- 12A 2X8 WALL
- 12B PLUMBING DROP FROM ABOVE
- 12C ROUTE OF FIREPLACE VENT FROM BELOW
- 12D HVAC CHASE
- 12E ROUTE OF A.C. COPPER LINE SET IN WALL
- 12A STUCCO SOFFIT - SEE EXTERIOR ELEVATION
- 12B MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURERS INSTRUCTIONS
- 12C MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURERS INSTRUCTIONS
- 12D STUCCO LOW WALL - SEE EXTERIOR ELEVATION
- 12E DOUBLE 2X4 FRAMED WALL
- 12A STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
- 12B STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
- 12A RESAWN WOOD POST - SIZE PER PLAN
- 12B RESAWN WOOD BEAM - SIZE PER PLAN
- 12C STUCCO COLUMN - SEE EXTERIOR ELEVATION
- 12A CONCRETE DRIVE BY OTHERS
- 12B CONCRETE WALK BY OTHERS
- 12C CONCRETE STOOP - 36" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
- 12A LINE OF FLOOR ABOVE
- 12B LINE OF FLOOR BELOW

### FLOOR PLAN NOTES

1. ATTICS: ACCESS PER C.R.C. R307, DRAFTSTOPS PER C.R.C. R302.12 AND VENTILATION PER R308 & R308.1
2. EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R302 & R310. MEANS OF EGRESS PER C.R.C. R311.
3. GLAZING PER C.R.C. R308, R303.1 & R301.2.1.2
4. FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.R.C. R1004, R1005, R1006 AND A.I.J.M.D. RULE 446.
5. COMBUSTION AIR FOR FORCED AIR UNIT PER C.M.C. CHAPTER 7.
6. COMBUSTION AIR TO WATER HEATER PER C.P.D. SECTION 507.0.
7. ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
8. MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
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 415-463-1700 www.whearchitects.com

**Express HOMES**  
 a D.R. Horton Company

DR HORTON

SFD

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DO NOT SCALE PLANS

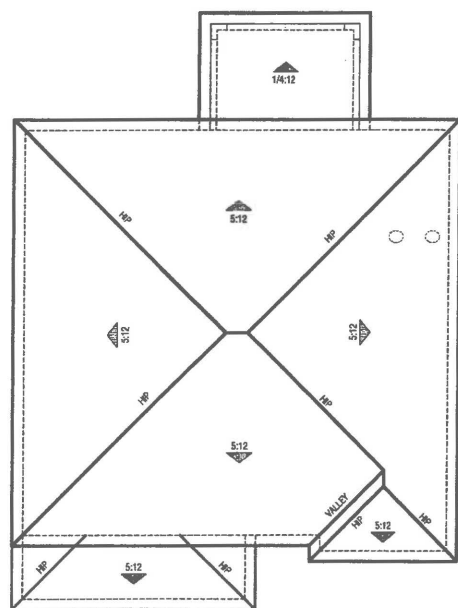
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN: **4.2544**

SHEET TITLE: **UPPER FLOOR PLAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB01.1

DATE: **06/30/16** SHEET: **A4.1.1**



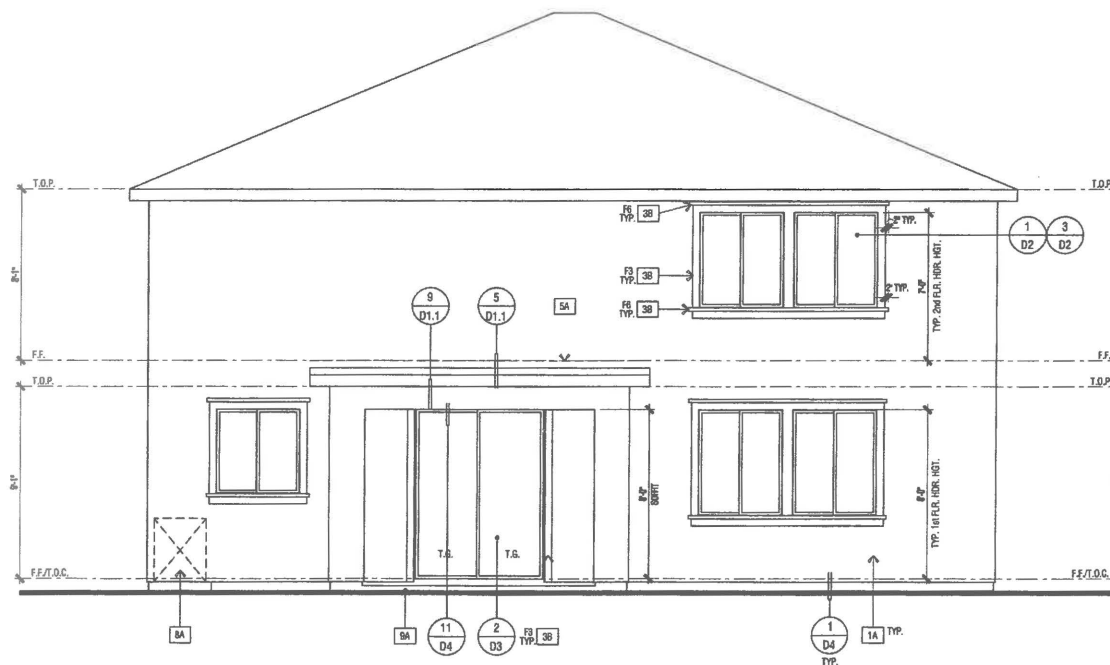
**ROOF PLAN SCALE: 1/8" = 1'-0"**

ELEVATION REFERENCE:	ELEVATION STYLE: REGENCY				
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	RAVE
COMPOSITION SHINGLES	1/D1	2X6	2X6	1'-0"	1'-0"

- ROOF PLAN NOTES**
- SEE GENERAL NOTES FOR ROOF NOTES.
  - PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R800.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
  - RADIANT BARRIER REQUIRED FOR TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2006 RESIDENTIAL ACM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM G-1159 AND ASTM D-727. SEE DETAIL 8/D5.
  - PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
  - REFER TO SHEETS RI.1, RI.2, ETC., FOR ATTIC VENTILATION CALCULATIONS.
- INDICATES SLOPE/DIRECTION  
 INDICATES DOWNSPOUT (IF REQUIRED).  
 INDICATES ROOF GUTTER (IF REQUIRED).  
 INDICATES LINE OF OVERHANG.  
 INDICATES LINE OF STRUCTURE.
- NOTE:  
RADIANT BARRIER TO BE INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

**ELEVATIONS - 'B' REGENCY**

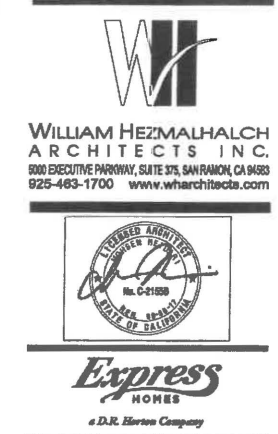
**ELEVATION KEY NOTES**

- ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1104 WITH STAY-IT FOAM INSULATION BOARD PER ESR-1562.
- MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- N/A
- RESAWN WOOD BEAM - SIZE PER PLAN
- 2" HARDY HLD HARDITRIM (BATTS - SPACING PER ELEVATION(S))
- RESAWN WOOD KICKER - SIZE PER PLAN
- OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- BUILT-UP WOOD COLUMN
- WOOD POST - SIZE PER PLAN
- DECORATIVE WOOD CORNICE/OUTLOOKER - SIZE PER ELEVATION
- WOOD TRIM - SEE DETAIL(S) 1/07
- 1" HARDY HLD HARDITRIM - SIZE PER ELEVATION
- STUCCO OVER FLAT 2x FURRING
- STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED RECESS
- DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/04 & 4/06
- DECORATIVE FOAM ACCENT
- N/A
- G.I. WALL FLASHING
- G.I. FLASHING
- RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- STUCCO OVER WOOD FRAMED POTSHELF
- G.I. NOCK-OUT FLASHING - SEE DETAIL(S) 4/01
- INTEGRALLY ILLUMINATED ADDRESS PANEL - 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET C103.
- N/A
- AIR CONDITIONER CONDENSER LOCATION
- CONCRETE STOOP - SIZE PER FLOOR PLAN
- OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
- N/A
- N/A
- EXTERIOR COACH LIGHT FIXTURE
- TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- N/A
- N/A
- SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.



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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

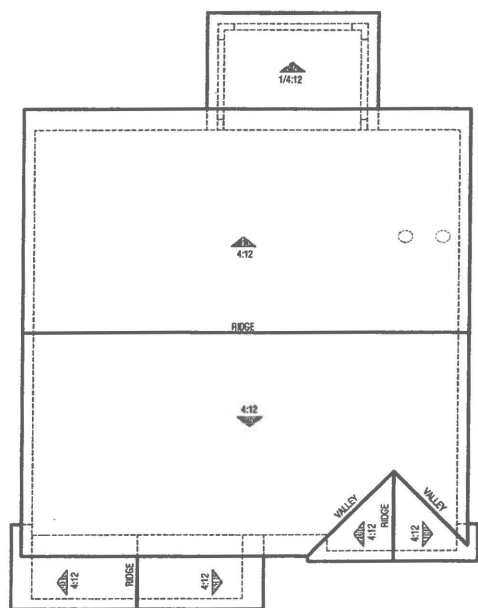
PLAN: **4.2544**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN B REGENCY**

PROJECT MANAGER:	MM
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB04

DATE:	06/30/16	SHEET:	A4.4
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SCALE: 1/4" = 1'-0"

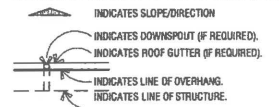


**ROOF PLAN SCALE: 1/8" = 1'-0"**

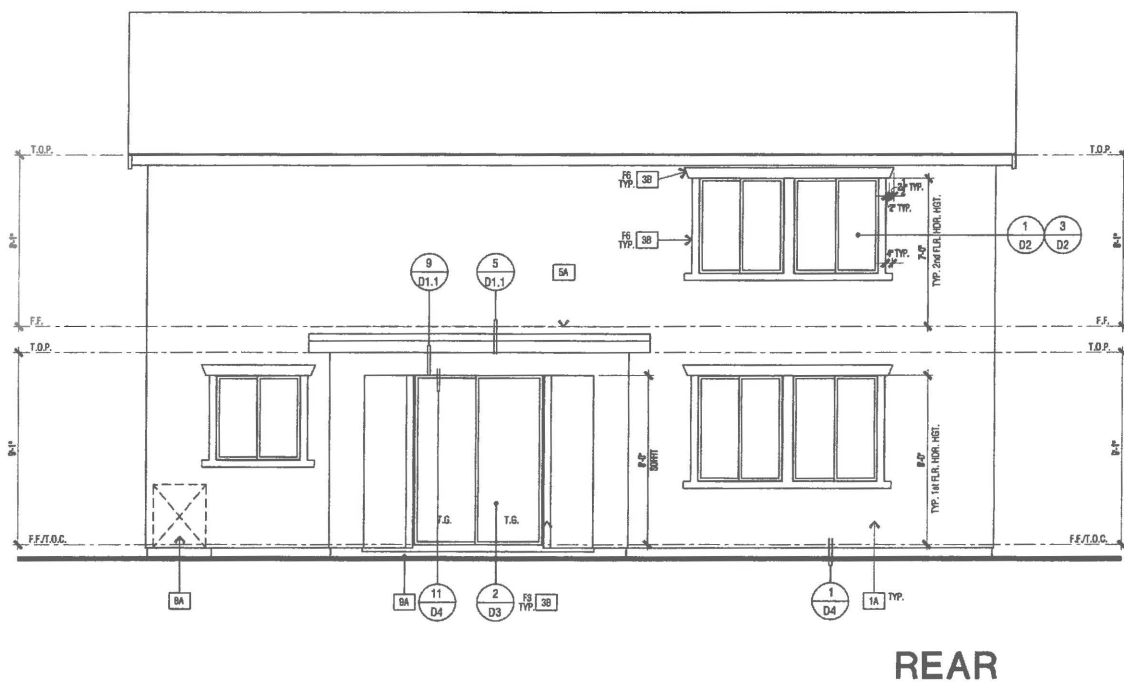
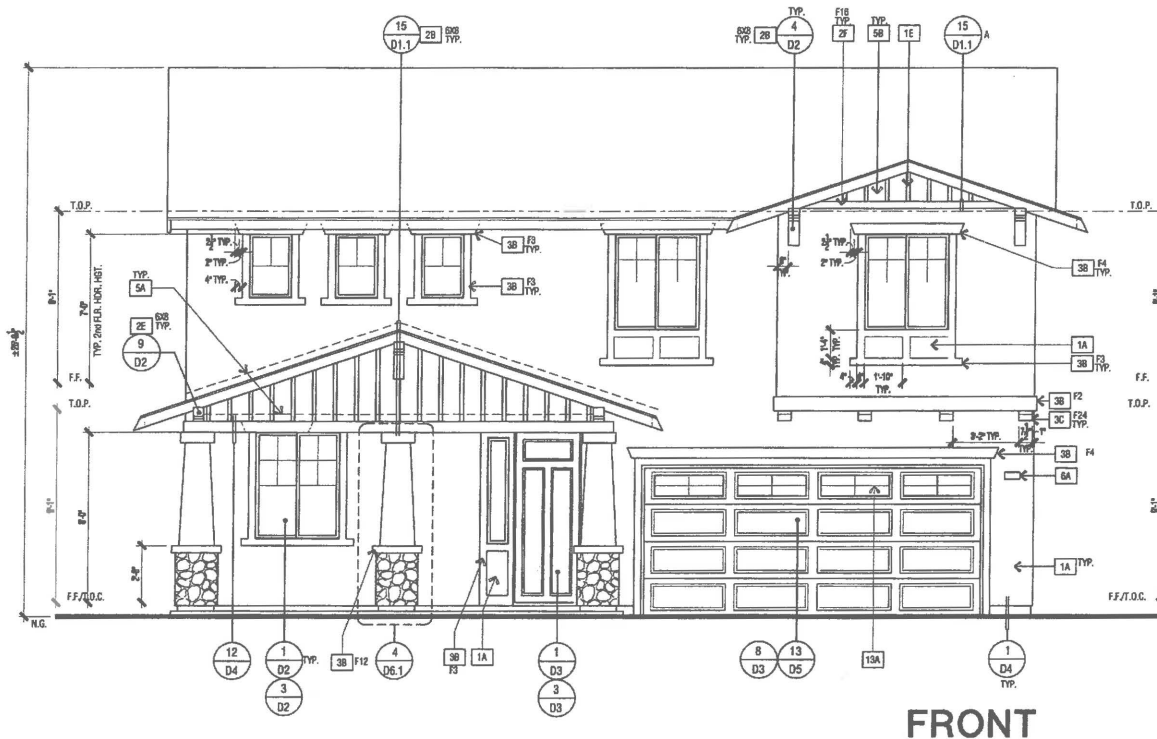
ELEVATION REFERENCE:	ELEVATION STYLE:	CRAFTSMAN			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	
COMPOSITION SHINGLES	1 D1	2X6	2X6	2'-0"	1'-0"

**ROOF PLAN NOTES**

- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER IRC SECTION R802. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS 1-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2008 RESIDENTIAL AGM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM G-1158 AND ASTM G-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS RL.1, RL.2, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



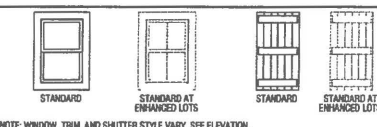
**ELEVATIONS - 'C' CRAFTSMAN**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - (OMEGA DIAMOND WALL PER ESR-1104 WITH STAR R FOAM INSULATION BOARD PER ESR-1588)
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1384 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY PLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD KICKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY PLD HARDOTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT & FIRRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER: SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/05 & 4/06
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHELF
- 5E G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET GMS
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 8B CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR - SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



DR HORTON

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN:

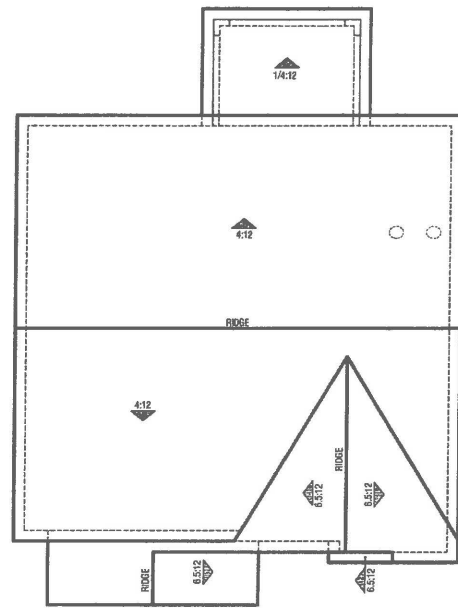
**4.2544**

**SHEET TITLE:  
ELEVATIONS & ROOF PLAN C  
CRAFTSMAN**

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AB07

DATE: 06/30/16 SHEET: **A4.7**

SCALE: 1/4" = 1'-0"

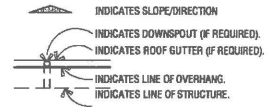


**ROOF PLAN SCALE: 1/8" = 1'-0"**

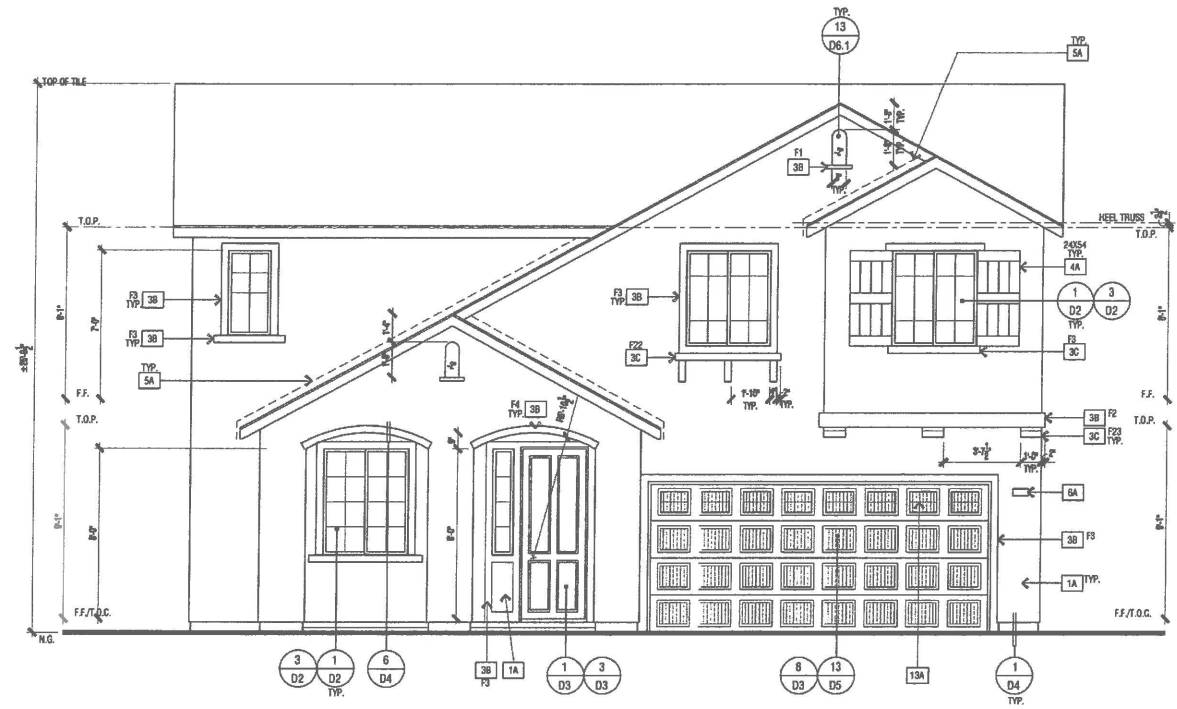
ELEVATION REFERENCE:	D	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA - U.N.O.	BARGE - U.N.O.	OVERHANG DIM. - U.N.O.	RAKE	
COMPOSITION SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"	

**ROOF PLAN NOTES**

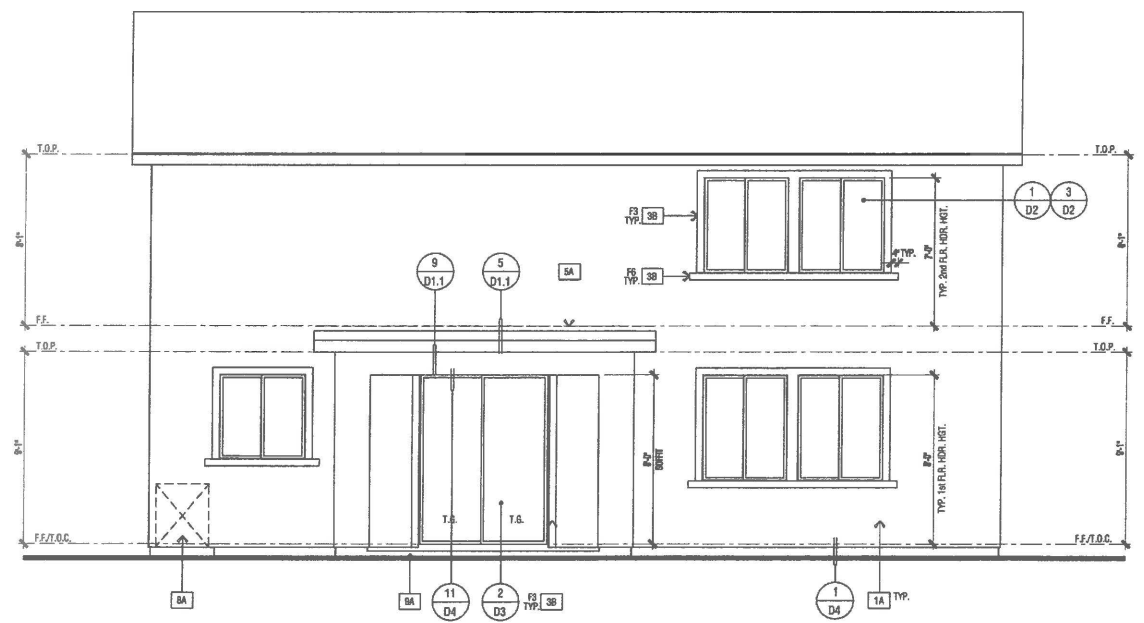
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CGC SECTION R902. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 5 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET, SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS HEADS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2006 RESIDENTIAL A/C MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1158 AND ASTM C-727. SEE DETAIL B/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1-1, R2-1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL B/D5



**FRONT**



**REAR**

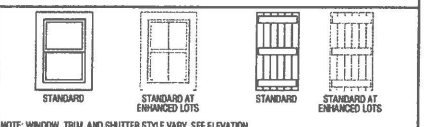
**ELEVATIONS - 'D' COTTAGE**

**ELEVATION KEY NOTES**

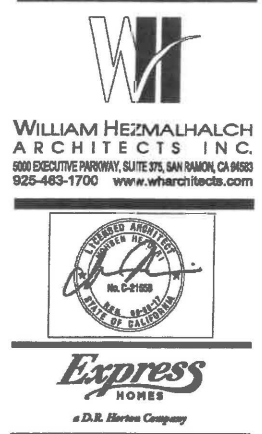
- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1104 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD JOCKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FURRING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/06
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHIELF
- 5E G.I. KICK-OUT FLASHING - SEE DETAIL(S) 4/01
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL - 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 6/05
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR - SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (RYTARE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.



DR HORTON

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**REVISIONS**

NO.	DATE	DESCRIPTION

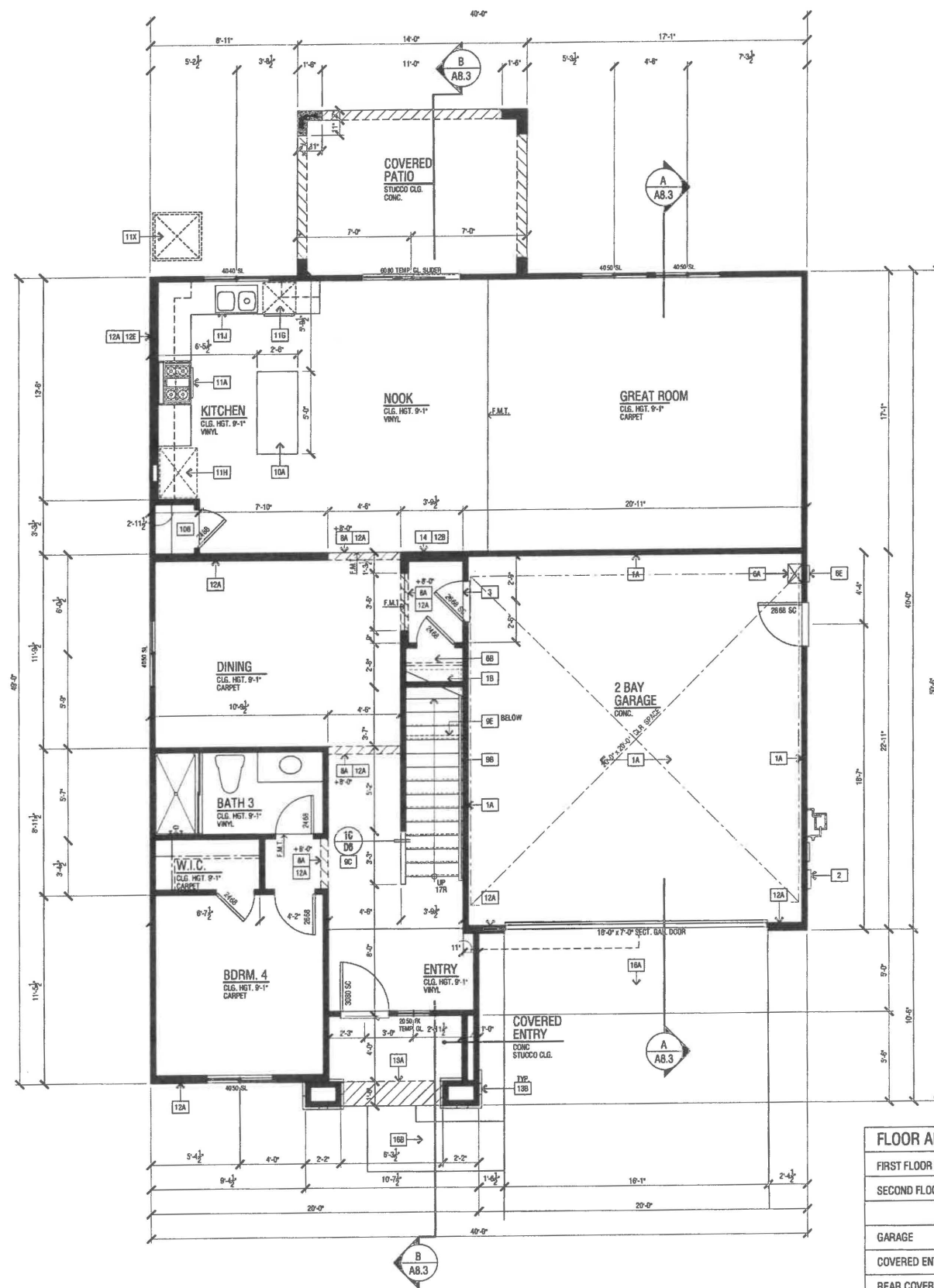
PLAN: **4.2544**

**SHEET TITLE:  
ELEVATIONS &  
ROOF PLAN D  
COTTAGE**

PROJECT MANAGER:	MR
DESIGNER:	MR
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	AB10

DATE: 06/30/16 SHEET: **A4.10**

SCALE: 1/4" = 1'-0"



FLOOR AREA TABLE	PLAN 5.2819B
FIRST FLOOR PLAN	1267 SQ. FT.
SECOND FLOOR PLAN	1552 SQ. FT.
TOTAL	2819 SQ. FT.
GARAGE	473 SQ. FT.
COVERED ENTRY/PORCH	37 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

LOWER FLOOR PLAN 'B' REGENCY

### FLOOR PLAN KEY NOTES

NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 047 FOR TYPICAL LAYOUTS AND CONFIGURATIONS

1A PROVIDE 5/8" TYPE 'X' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC  
5/8" TYPE 'X' GYPSUM BOARD SHALL BE APPLIED TO THE GARAGE SIDE  
GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT STRUCTURE(S) SUPPORTING THE FLOOR/CEILING ASSEMBLY USED FOR SEPARATION  
PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS.

1B PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302.7

2 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 30" SQ. CLEAR SPACE IN FRONT OF PANELS

3 PROVIDE GASKETED SELF-CLOSING AND SELF-LATCHING DOOR PER PER C.R.C. SECTION R302.5.1.

4 N/A

5 N/A

6A TANKLESS WATER HEATER

6B COAT CLOSET

6C N/A

6D LINEN / CLOSET

6E TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (RYTAGE & EXHAUST DIRECTLY FROM OUTSIDE)

7A N/A

7B OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATILATOR, HOW4230, UL 507B

8A INTERIOR SOFFIT(DROPPED CEILING): HEIGHT PER PLAN

8B N/A

8C ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 12/04.

9A GYP. BD. SHELFLOW WALL - WIDTH AND HEIGHT PER PLAN

9B +34" +38" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1/06

9C +34" +38" GUARD PER C.R.C. SECTION R312 AND C.R.C. TABLE R301.5. SEE DETAIL 1/06

9D 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1/006 OR 1/006

9E 2X CRIPPLE WALL

10A KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING.

10B KITCHEN PANTRY - PROVIDE (S) SHELVES

10C OPTIONAL CABINET(S)

10D DESK

10E WIRE SHELVING

10F CABINET WITH CLOTHING ROD

10G 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.

10H 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.

10I N/A

10J 30" DOUBLE OVEN

10K DISHWASHER

10L REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX

10M DOUBLE SINK WITH GARBAGE DISPOSAL

10N OPTIONAL SINK

10O FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 9/04 AND 10/04

10P SERVICE SINK

10Q FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE

10R FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE

10S DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER

10T MIN. 4" DIA. G.I. DRYER VENT - VENT TO OUTSIDE - U.I.O.

10U MIN. 4" DIA. G.I. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.I.O.

10V WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMTTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)

10W DRYER SPACE

10X ATTIC FAN (FORCED AIR UNIT) - SEE DETAIL 6/05

10Y PROVIDE A 24" X 6" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FOED OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.3.2

10Z AIR CONDITIONER CONDENSER LOCATION

11A 2X8 WALL

11B PLUMBING DROP FROM ABOVE

11C ROUTE OF FIREPLACE VENT FROM BELOW

11D HVAC CHASE

11E ROUTE OF A.C. COPPER LINE SET IN WALL

11F STUCCO SOFFIT - SEE EXTERIOR ELEVATION

11G MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS

11H MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS

11I STUCCO LOW WALL - SEE EXTERIOR ELEVATION

11J DOUBLE 2X4 FRAMED WALL

11K STUCCO SOFFIT OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE

11L STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE

11M RESAWN WOOD POST - SIZE PER PLAN

11N RESAWN WOOD BEAM - SIZE PER PLAN

11O STUCCO COLUMN - SEE EXTERIOR ELEVATION

11P CONCRETE DRIVE BY OTHERS

11Q CONCRETE WALK BY OTHERS

11R CONCRETE STOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.

11S LINE OF FLOOR ABOVE

11T LINE OF FLOOR BELOW

### FLOOR PLAN NOTES

- ATTIC ACCESS PER C.R.C. R307, DRAFTSTOPS PER C.R.C. R302.12 AND VENTILATION PER R303 & R302.1.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R202 & R301. MEANS OF EGRESS PER C.R.C. R301.
- GLAZING PER C.R.C. R308, R302.1 & R301.2.1.2
- FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.R.C. R1004, R1005, R1006 AND A.S.D.C.D. RULE 445.
- COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
- ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

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DR HORTON

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DO NOT SCALE PLANS

### REVISIONS

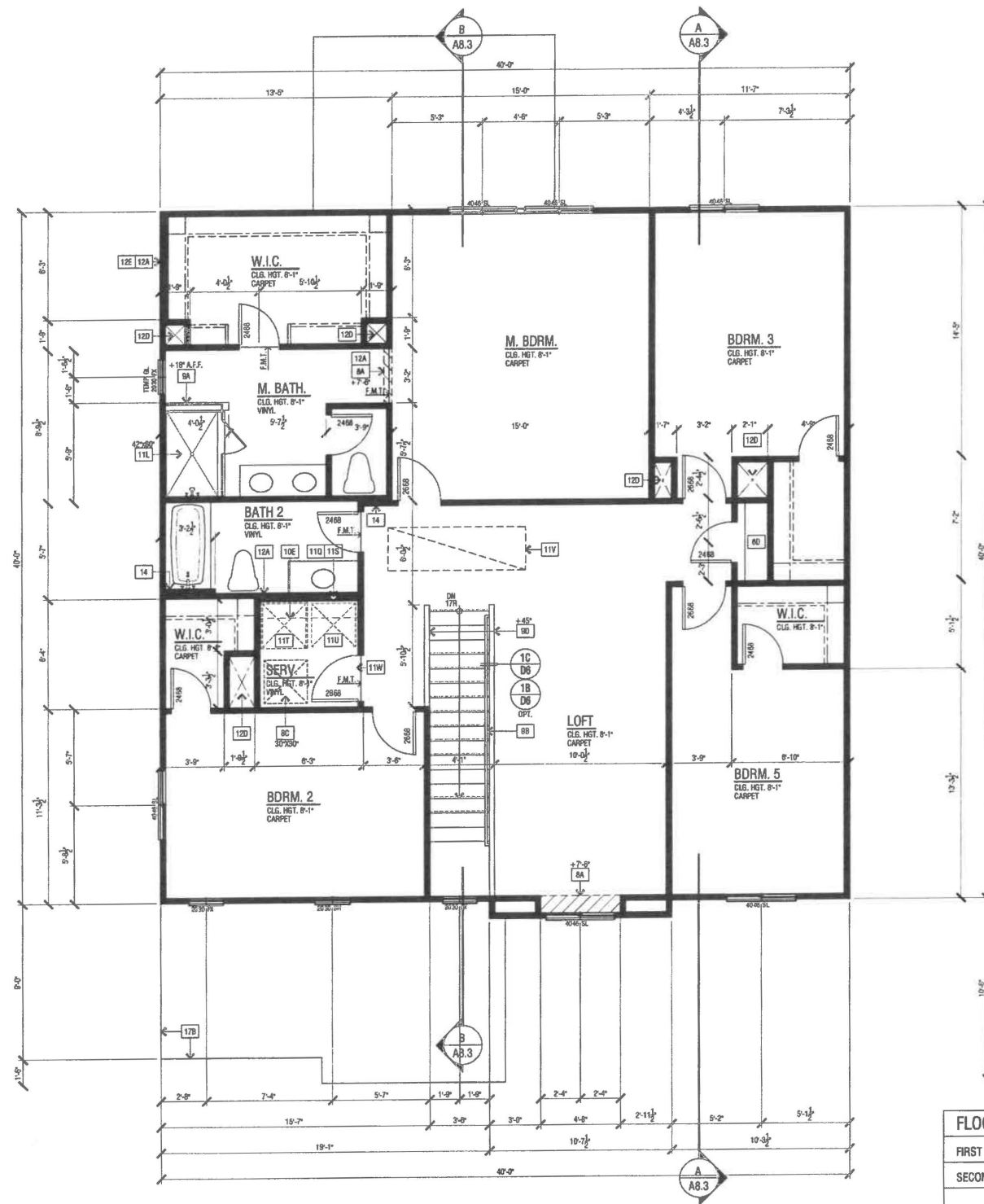
NO.	DATE	DESCRIPTION

PLAN: **5.2819**

SHEET TITLE: **LOWER FLOOR PLAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	A01.D

DATE: 06/30/16 SHEET: **A5.1**



FLOOR AREA TABLE	PLAN 5.2819B
FIRST FLOOR PLAN	1267 SQ. FT.
SECOND FLOOR PLAN	1552 SQ. FT.
TOTAL	2819 SQ. FT.
GARAGE	473 SQ. FT.
COVERED ENTRY/PORCH	37 SQ. FT.
REAR COVERED PATIO	140 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

SCALE: 1/4" = 1'-0"

UPPER FLOOR PLAN 'B' REGENCY

### FLOOR PLAN KEY NOTES

2013 C.R.C.

NOTE: SEE ARCHITECTURAL SYMBOL LEGEND, SHEET 6107 FOR TYPICAL LAYOUTS AND CONFIGURATIONS

- PROVIDE 5/8" TYPE 'A' GYP. BD. SEPARATION FROM GARAGE TO DWELLING UNIT AND ITS ATTIC
- PROVIDE 5/8" TYPE 'A' GYP. BOARD SHALL BE APPLIED TO THE GARAGE SIDE
- GARAGE WITH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM THE RESIDENCE BY 5/8" TYPE 'A' GYPSUM BOARD OR EQUIVALENT, STRUCTURE(S) SUPPORTING THE FLOOR / CEILING ASSEMBLY USED FOR SEPARATION
- PROVIDE APPROVED FIRE STOPPING MATERIAL AROUND ELECTRICAL PENETRATIONS
- PROVIDE 1/2" GYPSUM BOARD THROUGHOUT SPACES UNDER STAIRWAY PER C.R.C. SECTION R302.7
- 200 AMP. UTILITY AND SERVICE PANELS - PROVIDE 30" SQ. CLEAR SPACE IN FRONT OF PANELS
- PROVIDE GASKETED SELF CLOSING AND SELF LATCHING DOOR PER PER C.R.C. SECTION R302.5.1.
- N/A
- N/A
- TANKLESS WATER HEATER
- COAT CLOSET
- N/A
- LINEIN / CLOSET
- TANKLESS WATER HEATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (W/TAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- N/A
- OPTIONAL - 42" METAL FIREPLACE (GAS APPLIANCE / DIRECT VENT) - INSTALL PER HEATLATOR, NOV4236, UL 307B
- INTERIOR SOFFIT(S) / DROPPED CEILING(S); HEIGHT PER PLAN
- N/A
- ATTIC ACCESS - SIZE PER PLAN - DIMENSIONS CLEAR. SEE DETAIL 12/04.
- GYP. BD. SHELF/LOW WALL - WIDTH AND HEIGHT PER PLAN
- +34" - 38" HIGH CONTINUOUS HANDRAIL PER C.R.C. R311.7.7, R311.8.3 & TABLE R301.5 - SEE DETAIL 1/09
- +34" - 38" GUARD PER C.R.C. SECTION R312 AND C.R.C. TABLE R301.5. SEE DETAIL 1/06
- 2X LOW WALL WITH 1X MDF CAP - SEE PLAN FOR HEIGHT AND SEE DETAILS 1C/06 OR 1W/06
- 2X CRIPPLE WALL
- KITCHEN ISLAND - PROVIDE APPROVED UNDERGROUND CONDUIT FOR ELECTRIC SERVICE ROUTING.
- KITCHEN PANTRY - PROVIDE (S) SHELVES
- OPTIONAL CABINET(S)
- DESK
- WIRE SHELVING
- CABINET WITH CLOTHING ROD
- 30" SLIDE-IN RANGE/OVEN WITH 30" MICROWAVE OVEN ABOVE RANGE/OVEN WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE RANGE/OVEN TO UNDERSIDE OF MICROWAVE VENT.
- 30" COOKTOP WITH 30" SLIDE-IN OVEN BELOW WITH 30" MICROWAVE OVEN ABOVE COOKTOP WITH BUILT-IN EXHAUST VENT WITH 100 CFM (VENT TO OUTSIDE AIR). PROVIDE 24" CLEAR ABOVE COOKTOP TO UNDERSIDE OF MICROWAVE VENT.
- N/A
- 30" DOUBLE OVEN
- DISHWASHER
- REFRIGERATOR SPACE WITH RECESSED COLD WATER BOX
- DOUBLE SINK WITH GARBAGE DISPOSAL
- OPTIONAL SINK
- FIBERGLASS BATHS - SHOWER PAN WITH SHATTERPROOF ENCLOSURE - SEE PLAN FOR SIZE REFER TO DETAILS 9/04 AND 10/04
- SERVICE SINK
- FIBERGLASS BATHS - TUB SHOWER 102" X 42" WITH SHATTERPROOF ENCLOSURE
- FIBERGLASS BATHS - 60" X 42" TUB WITH SHATTERPROOF ENCLOSURE
- DRYER VENT DUCT SHALL BE EQUIPPED WITH AN APPROVED BACK-DRAFT DAMPER
- MRL. 4" DIA. G.I. DRYER VENT - VENT TO OUTSIDE - U.L.D.
- MRL. 4" DIA. G.I. DRYER VENT WITH APPROVED LINT TRAP - VENT THROUGH ROOF - U.L.D.
- WASHER SPACE WITH RECESSED WATER BOX (PROVIDE SMITTY PAN AT SECOND FLOOR LOCATION WITH RELIEF DRAIN TO AN APPROVED LOCATION)
- DRYER SPACE
- ATTIC FAN (FORCED AIR UNIT) - SEE DETAIL 6/05
- PROVIDE A 24" X 8" VENT ABOVE THE DOOR AND ON BOTH SIDES IN THE OPEN FREED OPEN POSITION FOR COMBUSTION AIR PER C.M.C. 504.3.2
- AIR CONDITIONER CONDENSER LOCATION
- 2X8 WALL
- PLUMBING DROP FROM ABOVE
- ROUTE OF FIRE PLACE VENT FROM BELOW
- HVAC CHASE
- ROUTE OF A.C. COPPER LINE SET IN WALL
- STUCCO SOFFIT - SEE EXTERIOR ELEVATION
- MANUFACTURED ADHERED STONE VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- MANUFACTURED ADHERED BRICK VENEER - SEE EXTERIOR ELEVATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS
- STUCCO LOW WALL - SEE EXTERIOR ELEVATION
- DOUBLE 2X4 FRAMED WALL
- STUCCO SOFFIT OVER WATERPROOFED STUCCO SHELF - SLOPE FRAMING FOR DRAINAGE
- STUCCO OVER WATERPROOFED POT SHELF - SLOPE FRAMING FOR DRAINAGE
- RESAWN WOOD POST - SIZE PER PLAN
- RESAWN WOOD BEAM - SIZE PER PLAN
- STUCCO COLUMN - SEE EXTERIOR ELEVATION
- CONCRETE DRIVE BY OTHERS
- CONCRETE WALK BY OTHERS
- CONCRETE STOOP - 30" DEEP AND 2" WIDER THAN DOOR OPENING - SLOPE TO DRAIN 1/4" PER FT. MIN.
- LINE OF FLOOR ABOVE
- LINE OF FLOOR BELOW

### FLOOR PLAN NOTES

- ATTIC: ACCESS PER C.R.C. R307, DRAFTSTOPS PER C.R.C. R302.12 AND VENTILATION PER R308 & R405.1.
- EMERGENCY ESCAPE AND RESCUE OPENINGS PER C.R.C. R302 & R310.
- MEANS OF EGRESS PER C.R.C. R101.1.
- GLAZING PER C.R.C. R308, R302.1 & R301.2.1.2
- FACTORY-BUILT FIREPLACES AND CHIMNEYS PER C.R.C. R1004, R1005, R1006 AND A.I.D.M.D. RULE 445.
- COMBUSTION AIR TO FORCED AIR UNIT PER C.M.C. CHAPTER 7.
- COMBUSTION AIR TO WATER HEATER PER C.P.C. SECTION 507.0.
- ENVIRONMENTAL AIR DUCTS PER C.M.C. SECTION 504.
- MECHANICAL EQUIPMENT LOCATION AND PROTECTION AGAINST DAMAGE PER C.M.C. 307.

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SFD

DR HORTON

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DO NOT SCALE PLANS

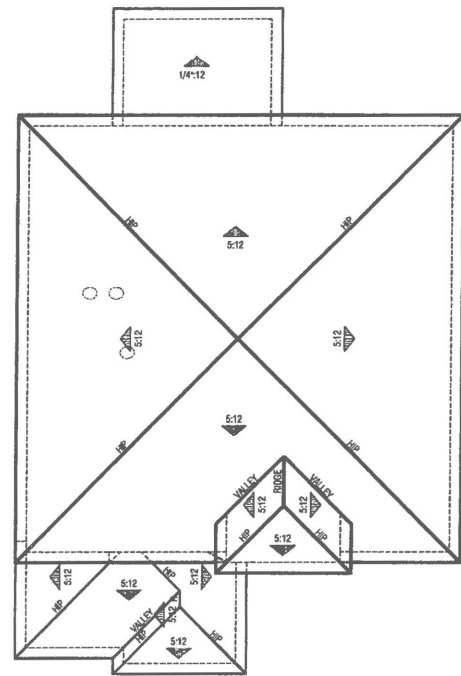
REVISIONS		
NO.	DATE	DESCRIPTION

PLAN: **5.2819**

SHEET TITLE: **UPPER FLOOR PLAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	AD11

DATE: **06/30/16** SHEET: **A5.1.1**

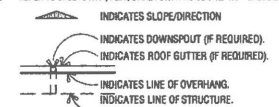


**ROOF PLAN** SCALE: 1/8" = 1'-0"

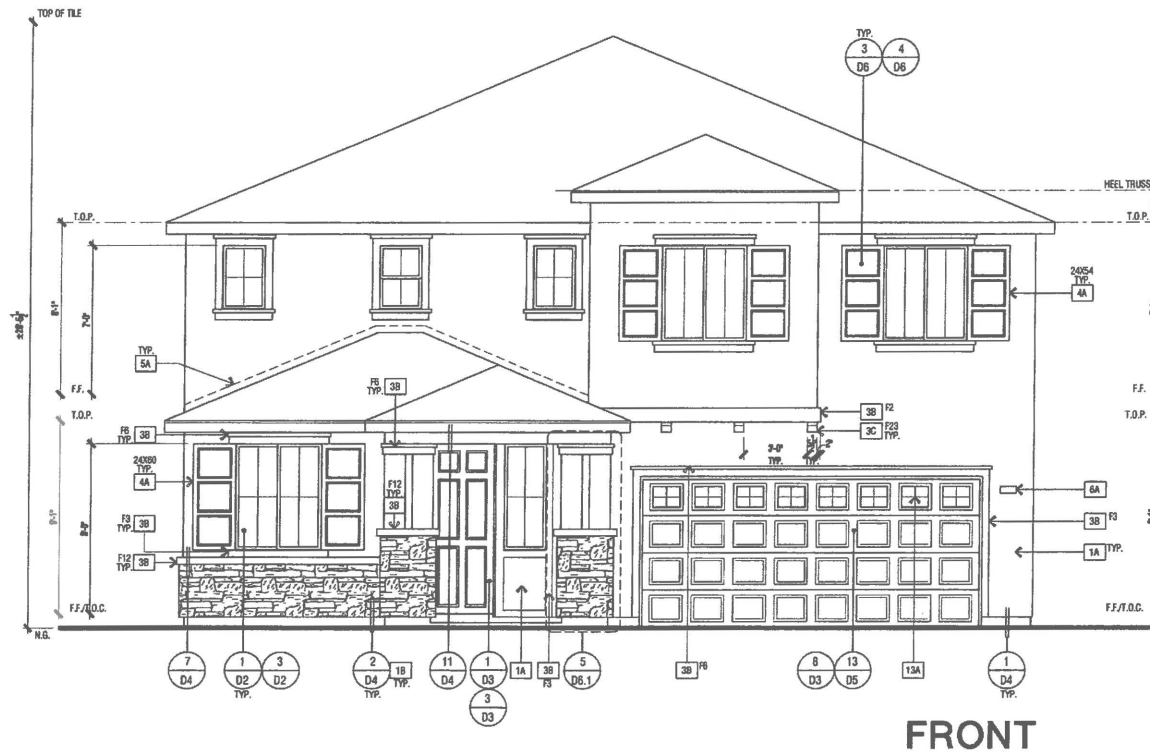
ELEVATION REFERENCE: <b>B</b>		ELEVATION STYLE: <b>REGENCY</b>			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA U.N.O.	GARGE U.N.O.	OVERHANG DIM. - U.N.O.	EAVE RAKE
COMPOSITION SHINGLES	1/D1	2X6	2X6	1'-0"	1'-0"

**ROOF PLAN NOTES**

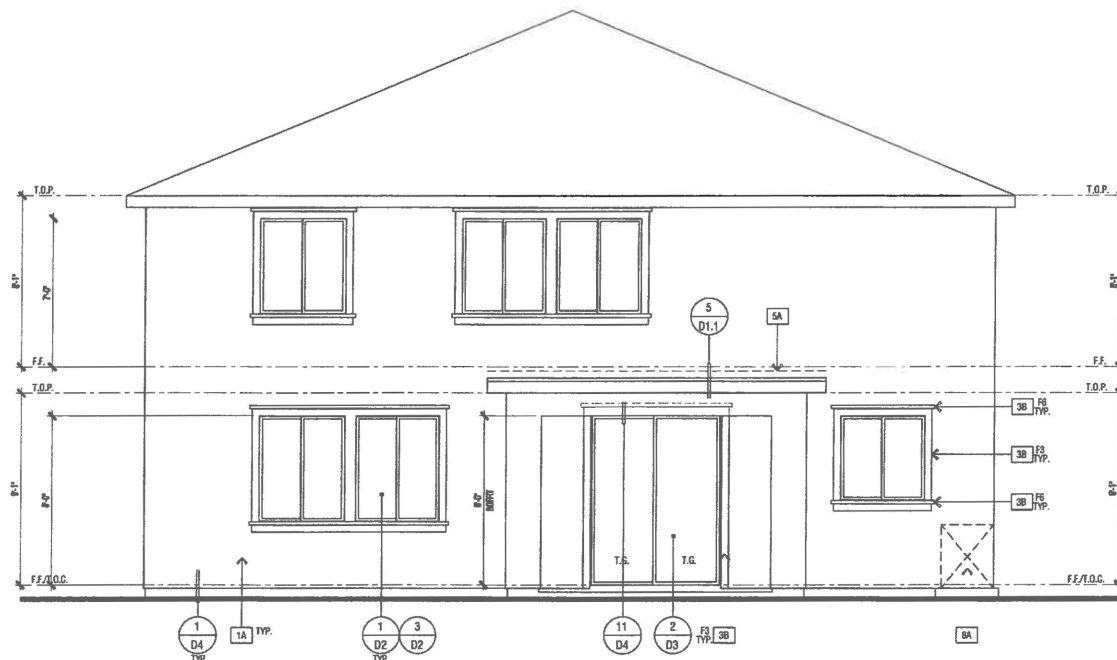
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R900.2. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPT FOR THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/100 OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS 1 & 3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 'D' OF THE 2008 RESIDENTIAL ACM MANUAL, SECTION RA-2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1150 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 36" OF RIDGE OR HP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

**ELEVATIONS - 'B' REGENCY**

**ELEVATION KEY NOTES**

1A	ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FRAM INSULATION BOARD PER ESR-1566.
1B	MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
1C	N/A
1D	RESAWN WOOD BEAM - SIZE PER PLAN
1E	2" HARDY HLD HARDTRIM BATTS - SPACING PER ELEVATIONS
2A	RESAWN WOOD KICKER - SIZE PER PLAN
2B	OUTLOOKER WITH KNOE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
2C	BUILT-UP WOOD COLUMN
2D	WOOD POST - SIZE PER PLAN
2E	DECORATIVE WOOD CORSEL/OUTLOOKER - SIZE PER ELEVATION
2F	WOOD TRIM - SEE DETAIL(S) 1/07
2G	1" HARDY HLD HARDTRIM - SIZE PER ELEVATION
3A	STUCCO OVER FLAT 2x RAPPING
3B	STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
3C	STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
3D	STUCCO OVER SHAPED RECESS
4A	DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/06
4B	DECORATIVE FOAM ACCENT
4C	N/A
5A	G.I. WALL FLASHING
5B	G.I. FLASHING
5C	RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
5D	STUCCO OVER WOOD FRAMED POTSHLF
5E	G.I. KICK-OUT FLASHING. SEE DETAIL(S) 4/01
6A	INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
7A	UTILITY SERVICE PANELS/METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 010.
7B	N/A
8A	AIR CONDITIONER CONDENSER LOCATION
8B	CONCRETE STOOP - SIZE PER FLOOR PLAN
10A	OPTIONAL WINDOW / DOOR, SEE FLOOR PLAN
11A	N/A
12A	N/A
12B	EXTERIOR COACH LIGHT FIXTURE
12C	TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
12D	N/A
12E	N/A
13A	SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL.
13B	SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL.

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**

STANDARD	STANDARD AT ENHANCED LOTS	STANDARD	STANDARD AT ENHANCED LOTS

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY, SEE ELEVATION.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
6000 EXECUTIVE PARKWAY, SUITE 375, SAN RAMON, CA 94583  
925-463-1700 www.wharchitects.com

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DR HORTON

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **5.2819**

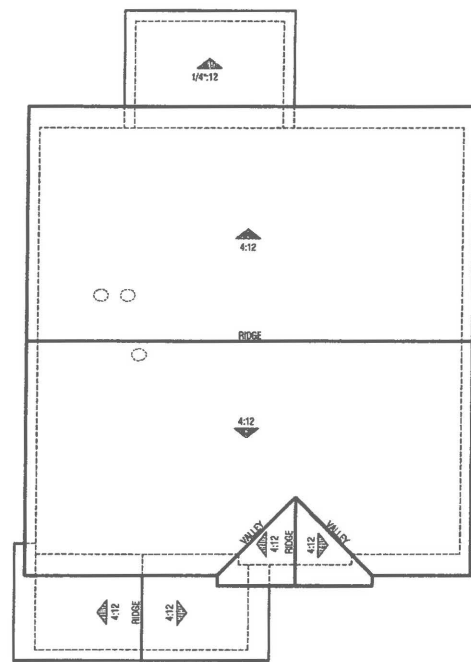
**SHEET TITLE:**  
ELEVATIONS & ROOF PLAN B REGENCY

PROJECT MANAGER:	MM
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	AB04

DATE:	SHEET:
06/30/16	A5.4

SCALE: 1/4" = 1'-0"



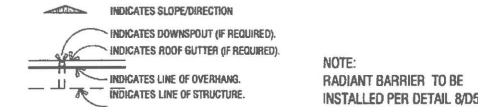


**ROOF PLAN SCALE: 1/8" = 1'-0"**

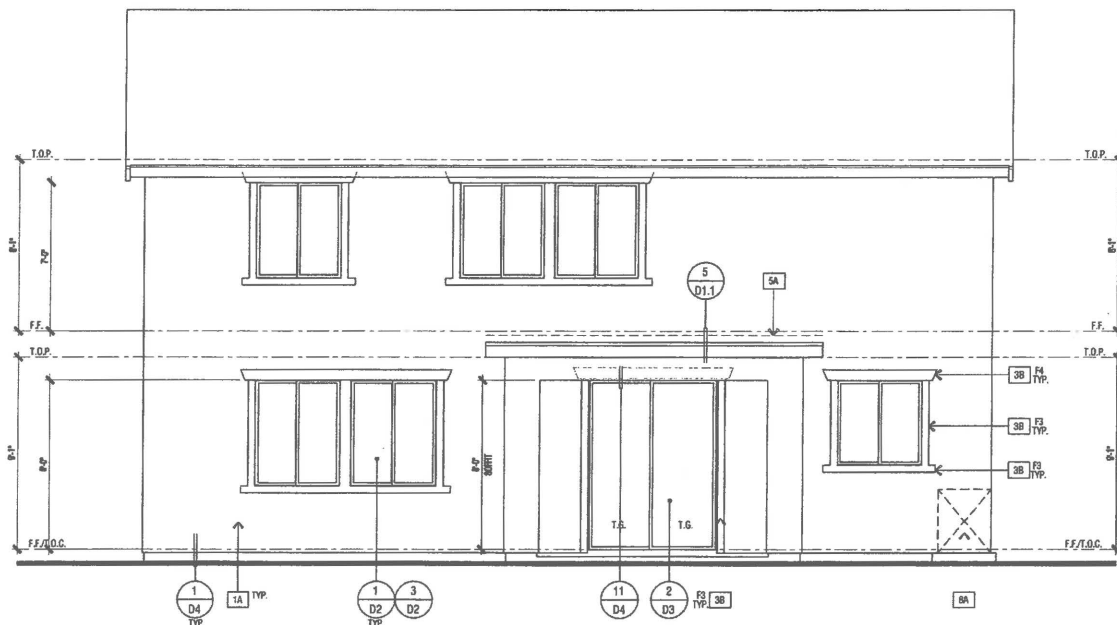
ELEVATION REFERENCE:	C	ELEVATION STYLE:	CRAFTSMAN			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCHA - U.N.O.	BARSE - U.N.O.	OVERHANG DIM. - U.N.O.	EAVE RAKE	U.N.O.
COMPOSITION SHINGLES	1/D1	2X6	2X6	2'-0"	1'-0"	

**ROOF PLAN NOTES**

- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R908.1. PER CRC SECTION R908.2, THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 9 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE. MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIERS REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS 1-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX 2 OF THE 2009 RESIDENTIAL ACM MANUAL, SECTION RA 2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM C-1139 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30° OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



**FRONT**



**REAR**

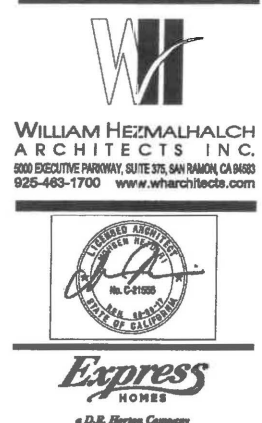
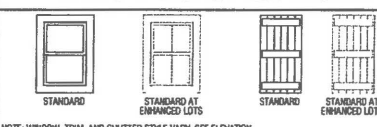
**ELEVATIONS - 'C' CRAFTSMAN**

**ELEVATION KEY NOTES**

- 1A ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1194 WITH STAR R FOAM INSULATION BOARD PER ESR-1508.
- 1B MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- 1C N/A
- 1D RESAWN WOOD BEAM - SIZE PER PLAN
- 1E 2" HARDY HLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- 2A RESAWN WOOD JOCKER - SIZE PER PLAN
- 2B OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SIZE PER ELEVATION.
- 2C BUILT-UP WOOD COLUMN
- 2D WOOD POST - SIZE PER PLAN
- 2E DECORATIVE WOOD CORSEL/OUTLOOKER - SIZE PER ELEVATION
- 2F WOOD TRIM - SEE DETAIL(S) 1/07
- 2G 1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
- 3A STUCCO OVER FLAT 2x FLOORING
- 3B STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- 3C STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- 3D STUCCO OVER SHAPED RECESS
- 4A DECORATIVE SHUTTER - SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 5/D4 & 4/D6
- 4B DECORATIVE FOAM ACCENT
- 4C N/A
- 5A G.I. WALL FLASHING
- 5B G.I. FLASHING
- 5C RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- 5D STUCCO OVER WOOD FRAMED POTSHELF
- 5E G.I. KICK-OUT FLASHINGS. SEE DETAIL(S) 4/D1
- 6A INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- 7A UTILITY SERVICE PANEL(S) METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET 0/06
- 7B N/A
- 8A AIR CONDITIONER CONDENSER LOCATION
- 9A CONCRETE STOOP - SIZE PER FLOOR PLAN
- 10A OPTIONAL WINDOW / DOOR - SEE FLOOR PLAN
- 11A N/A
- 12A N/A
- 12B EXTERIOR COACH LIGHT FIXTURE
- 12C TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (INTAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- 12D N/A
- 12E N/A
- 13A SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- 13B SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**



DR HORTON

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DO NOT SCALE PLANS

REVISIONS		
NO.	DATE	DESCRIPTION

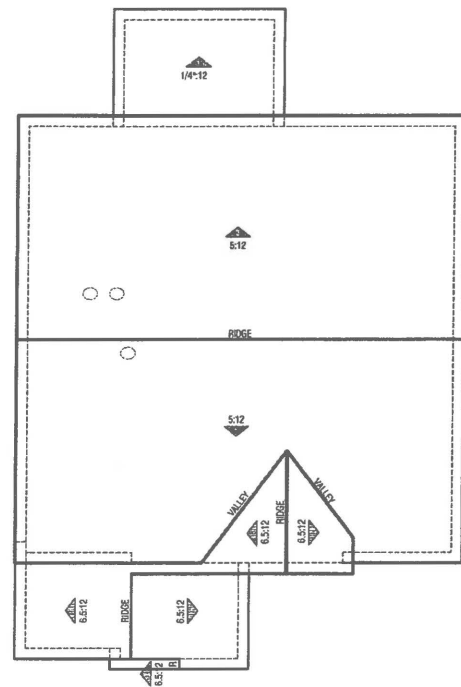
PLAN: **5.2819**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN C CRAFTSMAN**

PROJECT MANAGER:	MH
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 1
JOB NUMBER:	2015040
CAD FILE NAME:	A807

DATE: 06/30/16 SHEET: A5.7

SCALE: 1/4" = 1'-0"

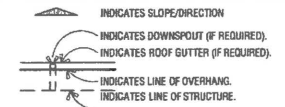


**ROOF PLAN SCALE: 1/8" = 1'-0"**

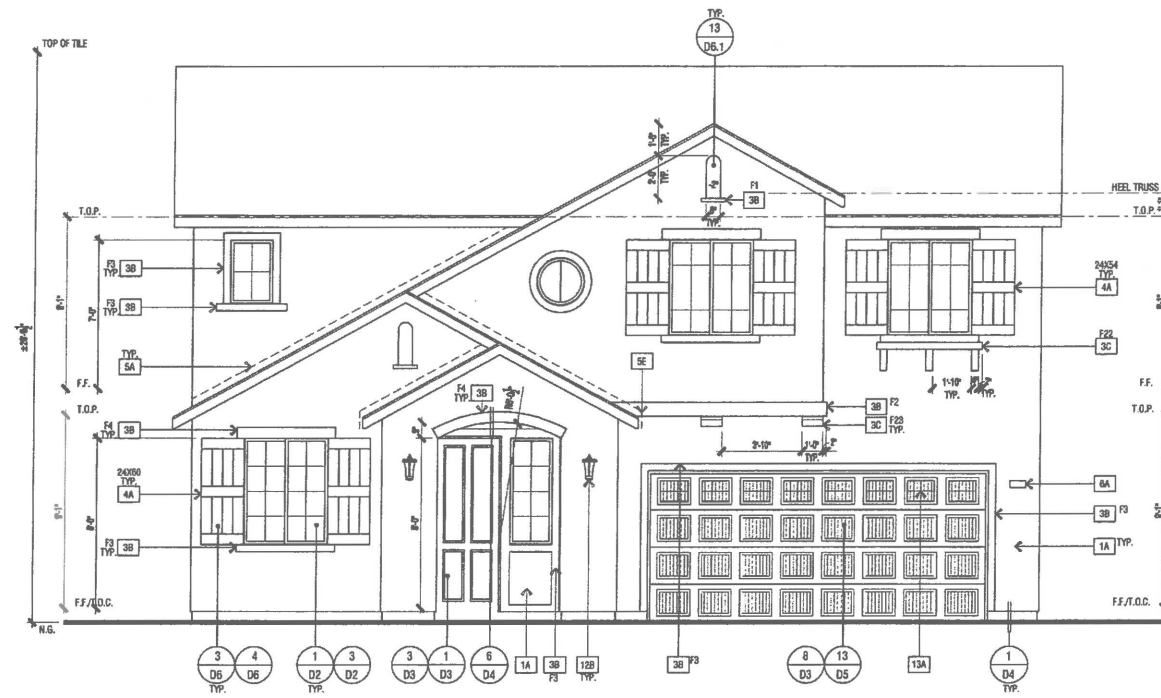
ELEVATION REFERENCE:	D	ELEVATION STYLE:	COTTAGE			
ROOF MATERIAL	STANDARD ROOF DETAIL U.N.O.	FASCIA U.N.O.	BARGE U.N.O.	OVERHANG DIM. U.N.O.	RAVE	
COMPOSITION SHINGLES	1 D1.1	2X6	2X6	1'-0"	1'-0"	

**ROOF PLAN NOTES**

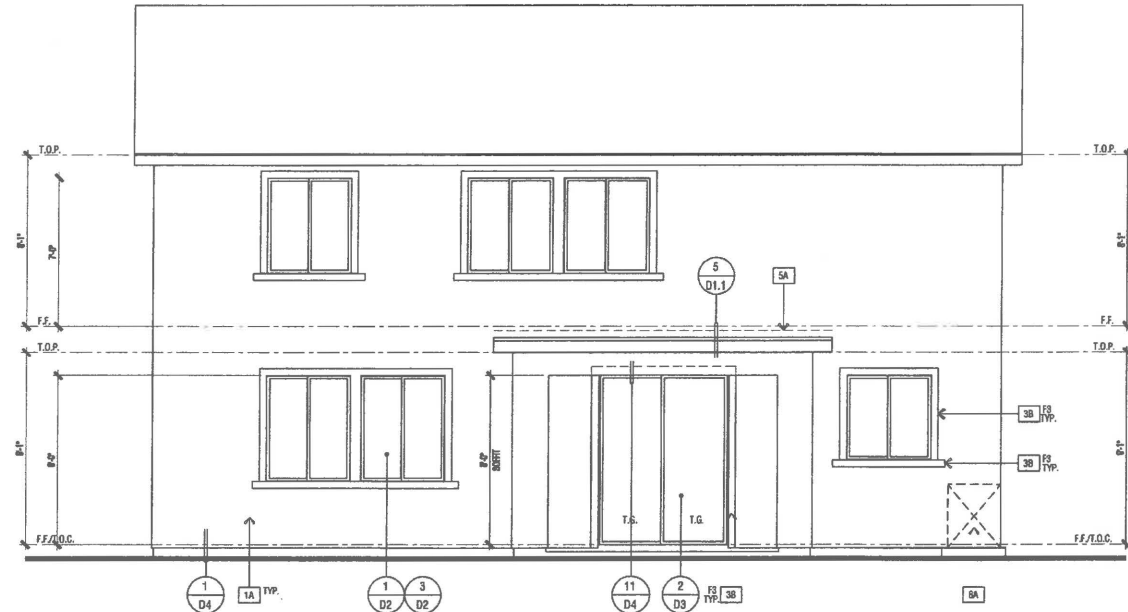
- SEE GENERAL NOTES FOR ROOF NOTES.
- PROVIDE ATTIC & SOFFIT VENTILATION PER CRC SECTION R002. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE AREA OF THE VENTED SPACE PROVIDED AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
- RADIANT BARRIER REQUIRED PER TITLE 24 ENERGY COMPLIANCE SHEET. SPECIAL FEATURES AND MODELING ASSUMPTIONS LOCATED ON SHEETS T-24.1-3. INSTALL RADIANT BARRIER ROOF SHEATHING WITH REFLECTIVE SIDE TOWARDS OPEN ATTIC. INSTALL RADIANT BARRIER MEMBRANE ON GABLE END ROOF CONDITIONS OVER TRUSS WEBS TOWARDS OPEN ATTIC. REFER TO APPENDIX C OF THE 2008 RESIDENTIAL AGM MANUAL, SECTION RA.2.1. RADIANT BARRIER INSTALLATION SHALL CONFORM TO ASTM G-1158 AND ASTM C-727. SEE DETAIL 8/D5.
- PROVIDE ALL PLUMBING VENT / ROOF PENETRATIONS WITHIN 30" OF RIDGE OR HIP TO ALLOW FOR FUTURE SOLAR PANEL INSTALLATION.
- REFER TO SHEETS R1.1, R2.1, ETC., FOR ATTIC VENTILATION CALCULATIONS.



NOTE:  
RADIANT BARRIER TO BE  
INSTALLED PER DETAIL 8/D5



**FRONT**



**REAR**

**ELEVATIONS - 'D' COTTAGE**

**ELEVATION KEY NOTES**

- ONE-COAT STUCCO SYSTEM - OMEGA DIAMOND WALL PER ESR-1104 WITH STAR R FOAM INSULATION BOARD PER ESR-1568.
- MANUF. ADHERED STONE VENEER - INSTALL PER ESR-1364 & MANUF. INSTRUCTIONS
- N/A
- RESAWN WOOD BEAM - SIZE PER PLAN
- 2" HARDY HLD HARDOTRIM BATTS - SPACING PER ELEVATION(S)
- RESAWN WOOD KICKER - SIZE PER PLAN
- OUTLOOKER WITH KNEE BRACE (WHERE OCCURS) - SEE PER ELEVATION.
- BUILT-UP WOOD COLUMN
- WOOD POST - SIZE PER PLAN
- DECORATIVE WOOD CORBEL/OUTLOOKER - SIZE PER ELEVATION
- WOOD TRIM - SEE DETAIL(S) 1/07
- 1" HARDY HLD HARDOTRIM - SIZE PER ELEVATION
- STUCCO OVER FLAT 2x FURRING
- STUCCO OVER RIGID FOAM TRIM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED FOAM - SEE DETAIL(S) 1/07
- STUCCO OVER SHAPED RECESS
- DECORATIVE SHUTTER:  
SIZE AND CONFIGURATION PER ELEVATION - SEE DETAIL(S) 3/06 & 4/06
- DECORATIVE FOAM ACCENT
- N/A
- G.I. WALL FLASHING
- G.I. FLASHING
- RECTANGULAR G.I. ATTIC VENT - SIZE PER ELEVATION
- STUCCO OVER WOOD FRAMED POTSHELF
- G.I. KICK-OUT FLASHING - SEE DETAIL(S) 4/01
- INTEGRALLY ILLUMINATED ADDRESS PANEL. 4" MIN. HIGH NUMBERS WITH STROKE WIDTH OF 1/2". NUMBERS SHALL BE CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
- UTILITY SERVICE PANELS/ METERS - VERIFY LOCATION(S) WITH UTILITY COMPANIES. SEE ARCHITECTURAL LEGEND - SHEET G15
- N/A
- AIR CONDITIONER CONDENSER LOCATION
- CONCRETE STOOP - SIZE PER FLOOR PLAN
- OPTIONAL WINDOW / DOOR - SEE FLOOR PLAN
- N/A
- N/A
- EXTERIOR COACH LIGHT FIXTURE
- TANKLESS WATER TERMINATION CAP - INSTALL PER MFR. INSTRUCTIONS (W/TAKE & EXHAUST DIRECTLY FROM OUTSIDE)
- N/A
- N/A
- SECTIONAL GARAGE DOOR STANDARD WINDOW GRID PANEL
- SECTIONAL GARAGE DOOR OPTIONAL WINDOW GRID PANEL

FINISHED GRADE VARIES. SEE CIVIL ENGINEERS PLANS FOR FINAL GRADE AND SITE DRAINAGE.

**WINDOW & SHUTTER LEGEND**

NOTE: WINDOW, TRIM, AND SHUTTER STYLE VARY. SEE ELEVATION.

**WILLIAM HEZMALHALCH ARCHITECTS INC.**  
5000 EXECUTIVE PARKWAY, SUITE 375, SAN RAMON, CA 94583  
925-483-1700 www.wharchitects.com

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DO NOT SCALE PLANS

**REVISIONS**

NO.	DATE	DESCRIPTION

PLAN: **5.2819**

SHEET TITLE:  
**ELEVATIONS & ROOF PLAN D COTTAGE**

PROJECT MANAGER:	MR
DESIGNER:	MR
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
SPEC. LEVEL:	EXPRESS HOMES-SPEC LEVEL 2
JOB NUMBER:	2015040
CAD FILE NAME:	A810

DATE:	06/30/16	SHEET:	A5.10
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SCALE: 1/4" = 1'-0"



119 Fox Street • Lemoore, California 93245 • (559) 924-6700 • Fax (559) 924-9003

## Staff Report

**To:** Lemoore Planning Commission **Item No. 6**  
**From:** Steve Brandt, City Planner  
**Date:** December 23, 2016 **Meeting Date:** January 9, 2017  
**Subject:** **Zoning Text Amendment No. 2016-03:** Amendments to portions of the following articles within the Lemoore Municipal Code related to Zoning and Subdivisions: Article A of Chapter 4 of Title 9 (Land Use Definitions); Article B of Chapter 4 of Title 9 (Allowed Uses and Required Entitlements); Article D of Chapter 4 of Title 9 (Accessory Dwelling Units, Manufactured Homes, and Shopping Carts); Article E of Chapter 5 of Title 9 (Standards for Off Street Parking); Article F of Chapter 5 of Title 9 (Standards for Permanent On Site Signs and Flags); and Chapter 10 of Title 7 (Public Facilities Maintenance Districts and Homeowner's Associations) and Article C of Chapter 5 of Title 9 (Design Standards for Big Box Stores, Discount Clubs, and Discount Superstores.)

### **Proposed Motion:**

Planning Commission, by motion, adopt Resolution #2017-02, recommending approval of Zoning Text Amendment No. 2016-03, (as amended by the Planning Commission.)

### **Project Proposal:**

Staff is bringing forward for consideration several text amendments for the Planning Commission and the City Council to consider. Some are considered clean-up amendments to make the Zoning Ordinance more understandable and internally consistent. Some are Staff's attempts to be proactive and make changes before they become issues. Some are in response to changes in State law.

The specific wording change is shown in Attachment A of the draft resolution with new wording in underline and wording to be removed in ~~strikeout~~. The following is a summary of each proposed change.

1. Assembly uses. Currently meeting facilities for clubs or groups, halls, churches, community centers and multipurpose facilities are all grouped into one land use

called assembly uses. City Staff is proposing that these uses be divided into three sub groups as enumerated below:

- 1) Club, Lodge, or Private Meeting Hall
- 2) Community Center or Facility
- 3) Religious Institution or Facility

Each of these three uses would have their own definition. The purpose for dividing them into three uses is so that they can be regulated differently by zone district. Table 9-4B-2 would be amended to show where these new uses would be allowed.

2. Outdoor Commercial Barbeques. This use is currently not regulated by zone. The text proposes a definition and that this use only be allowed in non-downtown commercial zones, and be required to obtain an administrative use permit.
3. Vaping Shops. City staff is proposing new text and a definition regarding vaping shops. Under the new ordinance wording that would be regulated the same as a smoke shop.
4. Second Dwelling Units. State law requires that cities allow second dwelling units in single-family residential zones by right, but allows cities to apply certain design standards. State law was recently changed pursuant to (SB 1069), and these proposed changes would bring Lemoore's requirements into compliance with the new law. The most obvious change is that the State would like these uses to be called "accessory dwelling units."
5. Manufactured Homes. State law requires that manufactured homes be allowed wherever traditionally built single-family homes are built. However, cities may put certain limits on design and on the age of new installations. Lemoore previously did not have these limits. The proposed new text would require certain design changes to ensure that the home looks and operates like a single-family home. Additionally, the change and would only allow manufactured homes that are less than 10 years old to be installed in the city.
6. Shopping Carts. The new text would require that new retail stores with shopping carts place disabling devices on the carts that prevent them from being taken off-site. Disabling devices could include wheel locks that automatically engage or poles taller than the doorway that prevent the cart from being taken outside.
7. Freestanding Signs in the Downtown. The current code was inconsistent about whether freestanding signs are allowed downtown. The proposed text would clarify that they are allowed. The maximum size would be 20 sq.ft. and the maximum height would be 4 feet.
8. Paved Surfaces in Front Yards. The new text proposed a new way to determine the amount a front yard that can be paved. This new text would be more restrictive than the current code. It would allow additional paving 12 feet wide beyond the width of

the garage. Residences with no front-facing garage would be allowed paving a maximum of 20 feet wide.

8. Flags and Flagpoles. The new text allows for larger flags and taller flagpoles in some zones. Very large flags would be allowed in the Industrial and Regional Commercial zones when appropriate setbacks and met. Flag size and dimension requirements are based on established protocols for U.S. flags.
10. Homeowner's Associations and Public Facilities Maintenance Districts. The new text would require that a public facilities maintenance districts be formed even when and homeowner's association is proposed. This provides an alternative in the event that the homeowner's association fails to meet its obligations.
11. Big Box Store Design Standards. These new standards provide additional guidance to the architectural elements of retail stores with over 50,000 square feet. They are based on standards previously adopted and successfully implemented by the City of Tehachapi, and will ensure quality architectural treatments be incorporated into these large buildings.

### **Environmental Assessment:**

The project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]

### **Recommended Findings:**

1. The Zoning Ordinance Amendment is consistent with the General Plan goals, policies, and implementation programs.
2. The Zoning Amendment promotes the health, safety, peace, morals, comfort, and general welfare.

### **Attachments:**

Draft Resolution with revised Ordinance wording

**RESOLUTION #2017-02**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LEMOORE  
RECOMMENDING APPROVAL OF ZONING TEXT AMENDMENT 2016-03:  
AMENDMENTS TO PORTIONS OF THE FOLLOWING ARTICLES WITHIN THE LEMOORE  
MUNICIPAL CODE RELATED TO ZONING AND SUBDIVISIONS: ARTICLE A OF CHAPTER  
4 OF TITLE 9 (LAND USE DEFINITIONS); ARTICLE B OF CHAPTER 4 OF TITLE 9  
(ALLOWED USES AND REQUIRED ENTITLEMENTS); ARTICLE D OF CHAPTER 4 OF  
TITLE 9 (ACCESSORY DWELLING UNITS, MANUFACTURED HOMES, AND SHOPPING  
CARTS); ARTICLE E OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR OFF STREET  
PARKING); ARTICLE F OF CHAPTER 5 OF TITLE 9 (STANDARDS FOR PERMANENT ON  
SITE SIGNS AND FLAGS); AND CHAPTER 10 OF TITLE 7 (PUBLIC FACILITIES  
MAINTENANCE DISTRICTS AND HOMEOWNER'S ASSOCIATIONS) AND ARTICLE C OF  
CHAPTER 5 OF TITLE 9 (DESIGN STANDARDS FOR BIG BOX STORES, DISCOUNT  
CLUBS, AND DISCOUNT SUPERSTORES.)**

At a Regular Meeting of the Planning Commission of the City of Lemoore duly called and held on January 9, 2017, at 7:00 p.m. on said day, it was moved by Commissioner \_\_\_\_\_, seconded by Commissioner \_\_\_\_\_ and carried that the following Resolution be adopted:

**WHEREAS**, City staff has proposed several text amendments to the City of Lemoore Municipal Code; and

**WHEREAS**, the project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment. It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment; therefore, the activity is not subject to CEQA. [Reference: State CEQA Guidelines sec. 15061(b)(3), General Rule Exemption]; and

**WHEREAS**, the Lemoore Planning Commission held a duly noticed public hearing at its January 9, 2017, meeting.

**NOW THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Lemoore hereby makes the following findings regarding the proposed conditional use permit:

1. The Zoning Ordinance amendment is consistent with the General Plan goals, policies, and implementation programs.
2. The zoning amendment promotes the health, safety, peace, morals, comfort, and general welfare.

**BE IT FURTHER RESOLVED** that the Planning Commission of the City of Lemoore recommends approval of Zoning Text Amendment 2016-03 as worded in Exhibit A attached hereto.

Passed and adopted at a Regular Meeting of the Planning Commission of the City of Lemoore held on January 9, 2017, by the following votes:

**AYES:**  
**NOES:**  
**ABSTAINING:**  
**ABSENT:**

**APPROVED:**

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**, Chairperson**

**ATTEST:**

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**Kristie Baley, Commission Secretary**

## Exhibit A

### 4A-5: DESCRIPTION OF LAND USES:

#### A. "A" Definitions:

~~ASSEMBLY USES: Include any of the following uses:~~

- ~~1. Meeting facilities for organizations including facilities for business associations, civic, social, and fraternal organizations, labor unions and similar organizations, political organizations, professional membership organizations, and other membership organizations;~~
- ~~2. Churches and other religious institutions, including living quarters for ministers and staff, but excluding other establishments maintained by religious organizations such as educational institutions and daycare, which are separately regulated; and~~
- ~~3. Community centers and other multipurpose meeting and recreational facilities that include one or more meeting or multipurpose facilities, kitchens, and outdoor barbecue facilities available for use by various groups for meetings, parties, receptions, dances, etc.~~

#### C. "C" Definitions:

CLUB, LODGE, OR PRIVATE MEETING HALL: A large room or building used for public gatherings where membership or invitation is typically required to attend. It can include a dance floor, lodge rooms, conference rooms, dining rooms, drinking establishments for members and their guests only, and exhibit rooms.

COMMUNITY CENTER OR FACILITY: An assembly building used typically for non-profit social, recreational, and cultural activities.

#### D. "D" Definitions:

DWELLING, SECOND ACCESSORY UNIT: An attached or detached dwelling unit which provides complete independent living facilities for one or more persons, with permanent provisions for living, sleeping, eating, cooking, and sanitation sited on the same parcel as the primary dwelling unit. This definition includes granny flats.

#### O. "O" Definitions.

OUTDOOR COMMERCIAL BARBEQUE: An outdoor facility at an approved location for cooking food for commercial sale directly over hot coals, fire, or other method approved by the County Health Department.

#### R. "R" Definitions.

RELIGIOUS INSTITUTION OR FACILITY: A facility used primarily to gather for religious worship and related religious activities. This use can include living quarters for staff, kitchens, multipurpose facilities, but does not include educational institutions or daycare, which are separately regulated.



S. "S" Definitions:

**SMOKE OR VAPE SHOP:** An establishment that either devotes more than fifteen percent (15%) of its total floor area to smoking, vaping, drug, and/or tobacco paraphernalia, or devotes more than a ten foot by five foot (10' x 5') (2 feet in depth maximum) section of shelf space for display for sale of smoking, vaping, drug, and/or tobacco paraphernalia.

**9-4B-2: ALLOWED USES AND REQUIRED ENTITLEMENTS; BASE ZONING DISTRICTS:**

TABLE 9-4B-2  
ALLOWED USES AND REQUIRED ENTITLEMENTS FOR BASE ZONING DISTRICTS

P	=	Permitted by right	N	=	Not permitted
A	=	Administrative use permit required	C	=	Conditional use permit required

Land Use/ Zoning District	Residential Zoning Districts							Special Purpose Zoning Districts				Mixed Use Zoning Districts			Office, Commercial, And Industrial Zoning Districts					
	A R	R V L D	R L D	R N	R L M D	R M D	R H D	W	A G	P R	C F	D M X - 1	D M X - 2	D M X - 3	M U	N C	R C	P O	L	M H
<u>Assembly uses</u>	A	N	G	G	A	A	A	N	N	A	A	A	A	A	A	A	P	G	N	
<u>Club, lodge, or private meeting hall</u>	N	N	N	N	N	N	N	N	N	A	A	A	A	A	A	A	P	N	N	
<u>Community center or facility</u>	N	N	C	C	C	C	C	N	N	A	A	P	P	A	P	P	C	P	N	N
<u>Religious institution or facility</u>	N	N	C	C	C	C	C	N	N	N	A	N	N	C	C	C	N	C	N	N
<u>Outdoor commercial barbeque</u>										A	A				A	A	A			

## 9-4D-12: ACCESSORY SECOND DWELLING UNITS:

A. Purpose And Applicability: This section applies to accessory second dwelling units within the city. Accessory Second dwelling units are permitted upon issuance of an administrative use permit in the agricultural and residential zoning districts subject to the standards of this section. The purpose of this section is to regulate accessory second dwelling units in residential zoning districts and on residential property consistent with state law. Implementation of this section is intended to expand housing opportunities for low income and moderate income or elderly households by increasing the number of rental units available within existing neighborhoods while maintaining the primarily single-family residential character of the area.

B Development Standards: Pursuant to Government Code section 65852.2, accessory dwelling second units shall be permitted on agricultural and residential parcels when the following conditions are met:

- ~~1. Second units shall only be located on lots with an area of five thousand (5,000) square feet or larger. The parcel contains an existing single-family dwelling.~~
- ~~2. Second units shall be compatible with the architectural style, materials, and colors of the primary dwelling unit.~~
- ~~32. No more than one accessory dwelling second unit shall be allowed per parcel.~~
- ~~43. The property owner shall occupy either the primary unit or accessory dwelling second unit. The property owner shall record a declaration acknowledging owner occupancy, recorded with the property as a condition of the administrative permit.~~
- ~~54. An accessory dwelling A second unit shall not exceed:~~
  - ~~a. Thirty percent (30%) Fifty percent (50%) of the existing living area of the primary dwelling when attached to the primary dwelling. For purpose of this standard, "living area" shall mean the interior habitable area of a dwelling unit, including basements, attics, bedrooms, kitchens, living room, etc. It does not include a garage or any accessory structure; or~~
  - ~~b. One thousand two hundred (1,200) square feet when detached from the primary dwelling.~~
- ~~65. Building setbacks for attached accessory dwelling second units shall comply with all required building setbacks for the primary dwelling unit.~~
- ~~76. The maximum height of a detached accessory dwelling second unit shall not exceed the height of the primary dwelling unit.~~
- ~~87. No accessory dwelling second unit may be sold separately from the primary dwelling unit.~~
- ~~9. Second dwelling units are not permitted within planned unit development (PUD) overlay zoning districts unless specifically authorized by the overlay zoning district.~~

TABLE 9-5E-4-A1  
 REQUIRED MINIMUM PARKING RATIOS

Land Use	Minimum Required Parking Spaces
Residential and overnight stay uses:	
Caretaker housing	1 per bedroom
Child daycare facility - family daycare home, large	1 additional beyond dwelling
Child daycare facility - family daycare home, small	0 additional beyond dwelling
Dwelling, multi-family - studio and 1 bedroom units	1.5 per unit
Dwelling, multi-family - 2 or more bedrooms	2 per unit
Dwelling, <del>second</del> accessory unit	No additional beyond primary dwelling

**9-4D-19: MANUFACTURED HOMES:**

The provisions of this section shall apply to all mobile homes and manufactured homes not located in an approved mobile home park:

A. No mobile home or manufactured home shall be installed that was manufactured more than ten (10) years from the date of application for a building permit for installation.

B. All manufactured homes shall meet the following site or architectural standards:

1. Garages and Carports. A minimum of a one-car garage or carport shall be provided for every manufactured house. The parking requirements of Chapter 5, Article E shall also apply.

2. Minimum Width and Floor Area. The width and floor area of a manufactured housing unit shall be at least eighty (80) percent of the average of other adjacent residences in the zone district in which it is located.

3. Roof Overhangs. All manufactured housing units and garages shall have a pitched roof with a minimum sixteen (16) inch roof overhang on each of the perimeter walls such that the overhang is architecturally integrated into the design of the dwelling unit.

4. Roofing Materials. All manufactured housing units and garages and carports located on the lot shall have a roof constituted of asphalt composition, clay, tile, concrete or metal tile or panels, slate or built-up asphaltic-gravel materials.

5. Siding Materials. All manufactured housing units and garages located on the lot shall have similar exterior siding materials consisting of wood, masonry, concrete, stucco, Masonite, or metal lap. The exterior siding material shall extend to the ground level, except that when a solid concrete or masonry perimeter foundation is used, the siding material need not extend below the top of the foundation.

6. Foundations. All manufactured housing units and garages and carports shall be placed on a permanent foundation which meets the applicable building code requirements and/or the provisions of Section 18551 of the State Health and Safety Code such that the floor elevation of the dwelling is reasonably compatible with the floor elevations of the surrounding dwelling units.
  7. Utility connections. The mobile home electrical, gas, water and drain connections shall be made permanent in a manner applicable to permanent buildings. Gas shut-off valves, meters and regulators shall not be located beneath the manufactured homes.
  8. Deviations. The community development department may approve deviations from one or more of the standards of this subsection on the basis of a finding that the architectural style proposed provides compensating design features and that the proposed dwelling will be compatible and harmonious with existing structures in the vicinity.
- C. Surrender of Registration. Subsequent to applying for a building permit, and prior to the occupancy of a mobilehome or manufactured home on a permanent foundation, a certification of occupancy is to be issued by the building official pursuant to Section 18551 of the State Health and Safety Code. Thereafter, any vehicle license plate, certificate of ownership, and certificate of registration issued by a state agency shall be surrendered back to the issuing state agency. Any mobile/manufactured home on a permanent foundation shall bear a state insignia or federal label pursuant to Section 18550 of the State Health and Safety Code.

#### **9-4D-20: SHOPPING CARTS:**

- A. Retail uses established after April 1, 2017, that provide shopping carts shall install and maintain disabling devices on all carts that prevent the use of the carts off the premises. This requirement shall be applicable in all zone districts, and shall be in addition to the requirements in Chapter 5 of Title 4 of the City Municipal Code.
- B. A shopping cart shall be defined per Section 4-5-2.

#### **9-5F-5: STANDARDS FOR PERMANENT ON SITE SIGNS:**

- B. General Standards: Except as provided in subsections C, "Menu/Order Board Signs For Drive-In And Drive-Through Uses", and D, "Highway Oriented Signs", of this section, permanent on site signs shall be consistent with the standards listed in table 9-5F-5-B1 of this section as listed by base zoning district. The types of signs permitted in each district are specified in table 9-5F-5-B2, "Allowed Types Of Permanent On Site Signs By Zoning District", of this section. Only those signs specified in the tables shall be permitted.

TABLE 9-5F-5-B1  
SIGNAGE STANDARDS FOR PERMANENT ON SITE SIGNS BY ZONING DISTRICT

Sign Type	Development Standards		
	Maximum Number Permitted	Maximum Area	Maximum Height
Downtown mixed use districts (DMX-1, DMX-2, DMX-3):			
Building attached signs	No maximum	2 square feet/1 linear foot on primary frontage and 1.5 square feet/1 linear foot on secondary frontage; maximum 100 square feet per sign and 200 cumulative square feet per establishment	Roofline
<u>Freestanding signs</u>	<u>Non-residential uses only: 1 per site</u>	<u>20 square feet</u>	<u>4 feet</u>
Mixed use district (MU):			
Building-attached signs	No maximum	1.5 square feet/1 linear foot collectively, maximum 150 square feet	Roofline
Freestanding signs:			
A-frame sign	1 per establishment	8 square feet maximum	5 feet
Freestanding sign	1 per project entrance	50 square feet per sign	4 feet
Neighborhood commercial district (NC):			
Building-attached signs	No maximum	2 square feet/1 linear foot collectively, maximum 200 square feet	Roofline
Freestanding signs	1 per site	50 square feet per sign	4 feet

Regional commercial district (RC):				
	Building-attached signs	No maximum	2.5 square feet/1 linear foot collectively, maximum 400 square feet	Roofline
	Freestanding signs	1 per street frontage	100 square feet per sign	See standards by sign type in table 9-5F-5-B2 of this section

**9-5E-5: DESIGN AND DEVELOPMENT STANDARDS FOR OFF STREET PARKING AREAS:**

- 6. Parking may be provided within the front and street side yard setback, as follows:
  - a. Vehicle parking (including driveways) in residential areas shall be provided on permanent paved surfaces.
  - b. ~~No more than fifty percent (50%) of a front yard area shall be covered with permanent paved surfaces.~~ Permanent paved surfaces in the front yard area shall be limited to a maximum 5-foot wide walkway to the front door of the residence, a driveway that no wider than the width of the garage or carport, and an area between the driveway and closest interior lot line that is no wider than 12 feet wide. Sites without a garage or carport are limited to a driveway-type parking area in the front yard area that is a maximum 20 feet wide.

**9-5F-2: ADMINISTRATIVE PROVISIONS:**

- 2. Exempt Signs With Limitations: The following signs are exempt from sign permit and city review, provided that they meet the size, height, duration, and/or maximum number limitations listed:
  - a. Window signs in conformity with this article.
  - b. Temporary signs in conformity with this article.
  - c. ~~Flags, provided they meet the following requirements:~~ requirements in Section 9-5F-4B-10.
    - ~~(1) Flagpoles shall be located a minimum of ten feet (10') from the public right of way.~~
    - ~~(2) The maximum height for flagpoles is twenty five feet (25').~~
    - ~~(3) The maximum size for any one flag is twenty five (25) square feet.~~

#### **9-5F-4: DESIGN STANDARDS FOR SIGNS:**

B. Design Standards For Specific Sign Types: In addition to the general sign design requirements in subsection A, "General Sign Design Requirements", of this section, the following requirements shall apply to the specific sign types:

10. Flags and flagpoles. Flagpoles may be mounted on the ground, a roof, or a building wall.

Ground-mounted flagpoles shall not be located within any required side or rear yard setback areas. Flags and flagpoles shall also meet the following size standards:

- a. Ground-mounted flagpoles located in the RC, ML, or MH zones shall have a maximum height of fifty (50) feet or a maximum height equal to twice the distance from the base of the pole to the closest lot line, to a maximum of one hundred (100) feet, whichever is greater.
- b. Ground-mounted flagpoles located in the AR, RVL, RLD, RN, RLMD, RHD, W, AG, PR, or DMX-3 zones shall have a maximum height of thirty (30) feet, mounted on the ground.
- c. Ground-mounted flagpoles located in the DMX-1, DMX-2, MU, CN, PO, or CF zones shall have a maximum height of fifty (50) feet.
- d. Roof-mounted flagpoles shall have a maximum height equal to the height of the building plus thirty (30) feet.
- e. The maximum width (hoist) of an individual flag on a ground-mounted or roof-mounted flagpole shall be equal to 20% of the height of the flagpole upon which it is located. The maximum length (fly) of an individual shall be twice the allowed width (hoist.)

#### **7-10-10: COORDINATION WITH SUBDIVISION APPROVALS:**

The following procedures, unless otherwise provided by law, shall be utilized to ensure coordination with approved subdivisions of land.

A. Tentative Map Approval and Conditioning: The planning commission shall approve the tentative map as provided in title 8, chapter 7, "Land Division", of this code. The tentative map shall be conditioned such that the subdivider agrees to participation in any public facilities maintenance district(s) required by the city. Public facilities maintenance districts(s) shall be required even when some or all facilities will be maintained by a homeowner's association.

## **9-5C-6: DESIGN STANDARDS FOR BIG BOX STORES, DISCOUNT CLUBS, AND DISCOUNT SUPERSTORES**

The following standards shall apply to all general retail, warehouse club retail, and other retail stores over 50,000 square feet in size.

### A. Allowed treatments:

1. Architectural elements shall be incorporated into the facades of the building creating visual interest and achieving compatibility within the design of the surrounding commercial structures.
2. Building forms shall be designed to create visual interest on all sides of the structure and the architectural concept shall be consistent on all sides of the building.
3. Second and third story volumes shall be stepped, sloped or grouped with one-story volumes to reduce the apparent mass to human scale.
4. Entries to individual building and public spaces between buildings, shall be emphasized with highlighted massing and articulated roof forms.
5. Building facades shall be recessed or projected at a minimum of every sixty feet.
6. The building height/roof pitch shall be varied.
7. Building facade colors shall be earth-toned, muted colors. Building trim may be accented with brighter and contrasting colors.
8. Where appropriate, courtyards and/or outdoor seating areas shall be incorporated into the site plan design.

### B. Prohibited treatments.

1. The following architectural elements and treatments are prohibited:
  - a. Large scale uninterrupted walls, not otherwise articulated by form fenestration, or materials;
  - b. Massive building elements, such as timber beams and/or columns that are out of scale with the architectural style;
  - c. False facades and other applied ornamentation unrelated to the rest of the building or structure;
  - d. High contrast color, brightly colored glazed tile or highly reflective surfaces; and
  - e. Bold application of colors such as stripes, accents, or super graphics.
2. Use of the following materials is prohibited:
  - a. Heavy textured stucco, such as Spanish lace, swirl, or heavy trowel;
  - b. Vinyl, corrugated metal or aluminum siding;
  - c. Common plywood or masonite siding;



d. Standard concrete block;

e. Rustic materials utilized as primary wall surfaces and dark earth tone colors; and

f. Over application of bright accents or trim colors.

C. Building Entrance: Commercial structures subject to this Section shall provide customers with at least two building entrances in order to encourage greater distribution of parking activity. Additional entrances can be located at one of the two sides of the building and/ or the rear of the building. If multiple entries are not practical the structure shall have the appearance of having two entries and in this regard the distinction between the front and rear of the structure shall be blurred through the application of similar architectural treatments.

D. Pedestrian Linkage. The site plan shall reflect and facilitate safe pedestrian access linking the building to sidewalks adjacent to project street(s).

1. At least five (5) percent of the total interior area devoted to parking shall be landscaped.

2. A landscaped area shall be provided at a minimum of every eight (8) parking spaces.

3. Landscaping shall be provided at the building entrance between the parking lot and the front of the building.

E. Property Maintenance. Commercial properties supporting a big box store as defined by this Section, whether occupied or vacant, shall be maintained so that the structure and surrounding property are not allowed to fall into a state of deferred maintenance and neglect. This includes the building exterior, parking lot maintenance and landscaping on the property.